

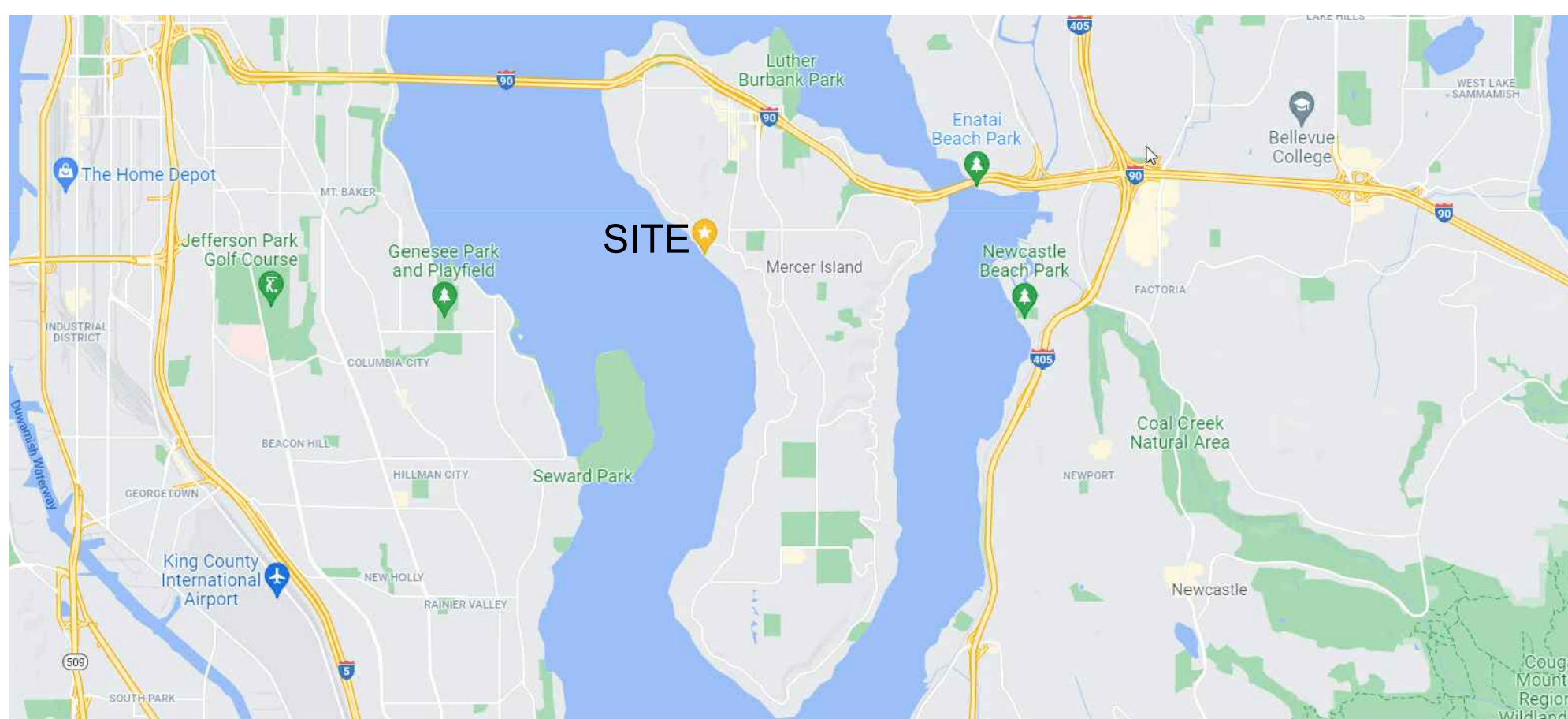
MIST RESIDENCE PERMIT SET



CONCEPTUAL PROJECT IMAGE



CONCEPTUAL PROJECT IMAGE



VICINITY MAP

LEGAL DESCRIPTION:

ISLAND PARK REPLAT OF POR SELY 1/2 OF 5 & NWLY 1/2 OF 6 BEG AT MOST WLY COR OF NELY 323 FT OF SELY 1/2 OF 5 TH SELY 90.67 FT TO MOST SLY COR OF NWLY 40 FT OF NELY 332.27 FT OF SD 6 TH SWLY PLW SELY LN SD NWLY 1/2 OF 6 DIST 76.73 FT TH WLY 25 FT TO MOST SLY COR OF NWLY 25 FT OF NELY 429 FT OF SD 6 TH SWLY PLW SELY LN SD NWLY 1/2 OF 6 TO OUTER LIMITS OF SH LDS TH NELY ALG SD OUTER LIMITS TO PT ON SWLY EXT OF NWLY LN SD SELY 1/2 OF 5 TH NELY TO POB TGW UND 1/6 INT IN NWLY 10.00 FT OF NELY 203.00 FT OF SELY 1/2 OF SD LOT 5 TGW POR ADJ ELY & LESS POR NLY PER SCC #10-2-45130-7. PLAT BLOCK: C. PLAT LOT: 5-6

ENERGY/MECHANICAL CODE COMPLIANCE:

1) WORK TO COMPLY WITH THE 2018 WSEC AND 2018 IMC.

2) ALL GLAZING AND DOORS TO MEET MAXIMUM 0.28 U-FACTOR PER THE 2018 WSEC PRESCRIPTIVE UNLIMITED GLAZING REQUIREMENTS. REFER TO SHEETS A6.0-A6.3 FOR WINDOW SCHEDULE.

VERTICAL GLAZING (U): 0.28*
OVERHEAD GLAZING (U): 0.50
CEILING: R-49
VAULTED CEILING: R-38
WALL ABOVE GRADE: R-21 INT
WALL INT. BELOW GRADE: R-21 TB
WALL EXT. BELOW GRADE: R-10
FLOOR: R-30*
SLAB ON GRADE: R-10
*SEE ITEM #8 REGARDING BUILDING ENVELOPE

3) A MINIMUM OF 75 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WAC 51-11R.

4) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.

5) ALL BATHROOMS & TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER IRC M 1507.4.

6) WHOLE HOUSE VENTILATION TO BE PROVIDED PER IRC M1507.3. MIN. OUTDOOR AIRFLOW RATE SHALL BE 105 CFM.

7) HEATING OPTION 2 - HEAT PUMP
1 CREDIT

8) BUILDING ENVELOPE: VERTICAL FENESTRATION U = 0.28, FLOOR R-38 & CONTINUOUS R-10 UNDER SLAB
(ENERGY CREDIT 1.3) 0.5 CREDITS

9) AIR LEAKAGE TO 1.5 AIR CHANGES PER HOUR MAX AT 50 PASCALS
(ENERGY CREDIT 2.3) 1.5 CREDITS

10) HIGH EFFICIENCY HVAC: AIR SOURCE, CENTRALLY DUCTED HEAT PUMP W/ MIN. HSPF OF 9.5
(ENERGY CREDIT 3.5) 1.5 CREDITS

11) EFFICIENT WATER HEATING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER 1 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION
(ENERGY CREDIT 5.3) 1.5 CREDITS

TOTAL ENERGY CREDITS = 6 REQUIRED
BASED ON TABLE R406.3 FOR MEDIUM DWELLING UNIT.
ENERGY SELECTIONS FROM WSEC TABLE R406.2.

CONTACT INFORMATION:

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KIRKLAND, WA
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NATALIE@FRANKLINENG.COM

PROJECT DATA:

PARCEL NUMBER: 362350-0395

PROJECT ADDRESS:
4045 W MERCER WAY
MERCER ISLAND, WA 98040

LOT SIZE: 12,289 SF

ZONE: R-15

OCCUPANCY TYPE: N/A

CONSTRUCTION TYPE: N/A

AUTOMATIC SPRINKLER SYSTEM:
REQUIRED

ENVIRONMENTALLY CRITICAL AREAS:
SHORELINE

PROJECT DESCRIPTION:
CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE THAT INCLUDES PERMANENT AND TEMPORARY SHORING WALL SYSTEMS.

FAR:
4,915 SF MAXIMUM

LOT COVERAGE:
3,686 SF MAXIMUM

REQUIRED YARDS:
FRONT YARD = 20 FT*
REAR YARD = 50 FT FROM OHWM
SIDE YARD = 10 FT

*FRONT YARD IS OPPOSITE
P.L. PARALLEL TO OHWM

BUILDING HEIGHT:
MAX BUILDING HEIGHT = 30'-0"

PROJECT GROSS SQUARE FOOTAGE:
MEASURED FROM EXTERIOR WALLS.
INCLUDES UNHEATED AREAS.

HEATED SPACES
UPPER LEVEL = 1,472 SF
MID LEVEL = 1,795 SF
LOWER LEVEL = 773 SF

HEATED TOTAL = 4,040 SF

UNHEATED SPACES
GARAGE = 700 SF
UNHEATED MECH. = 127 SF

UNHEATED TOTAL = 827 SF

TOTAL GROSS = 4,867 SF

SHEET LIST:

GENERAL:
G0.0 TITLE SHEET
G0.1 GENERAL NOTES

SURVEY

CIVIL:
C01 ESC PLAN
C02 DRAINAGE PLAN
C03 UTILITY PLAN
C04 GRADING PLANS
C05 TYPICAL DETAILS

ARCHITECTURAL:
A0.1 ZONING DIAGRAMS
A1.0 SITE PLAN
A1.1 SITE SECTIONS

A2.1 LOWER LEVEL PLAN
A2.2 MID LEVEL PLAN
A2.3 UPPER LEVEL PLAN
A2.4 ROOF PLAN

A3.0 BUILDING ELEVATIONS
A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS
A3.3 BUILDING ELEVATIONS
A3.4 BUILDING ELEVATIONS

A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTIONS
A4.3 BUILDING SECTIONS

A5.0-5.2 BUILDING ASSEMBLIES

A6.0 WINDOW & DOOR SCHEDULE
A6.1 WINDOW & DOOR SCHEDULE
A6.2 WINDOW & DOOR SCHEDULE
A6.3 WINDOW & DOOR SCHEDULE

A8.0 TYPICAL DETAILS
A8.1 TYPICAL DETAILS

STRUCTURAL:
S1.0 GENERAL NOTES
S1.1 SHORING PLAN
S1.2 SHORING ELEVATION & DETAILS
S1.3 SHORING SCHEDULE & DETAILS
S1.4 SHORING SECTIONS
S2.0 LOWER LEVEL FOUNDATION PLAN
S2.1 MAIN LEVEL FRAMING PLAN
S2.2 SECOND FLOOR FRAMING PLAN
S2.3 ROOF FRAMING PLAN
S2.4 FRAMING ELEVATIONS
S3.1 FOUNDATION DETAILS
S3.2 FOUNDATION DETAILS
S3.3 FOUNDATION DETAILS
S4.1 TYPICAL FRAMING DETAILS
S4.2 FRAMING DETAILS
S4.3 FRAMING DETAILS

LANDSCAPE:
L1.0 SITE PLANTING PLAN

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022

DATE:
FEBRUARY 25, 2022

SHEET TITLE:
TITLE SHEET

SHEET:

G0.0

MIST RESIDENCE PERMIT SET

ABBREVIATIONS:

ABV	ABOVE	IBC	INTERNATIONAL BUILDING CODE
ACoust	ACOUSTIC ACOUSTICAL	INSUL	INSULATION
ACCY	ACCESSORY	INT	INTERIOR
ADDM	ADDITIONAL	JB	JUNCTION BOX
ADL	ADJUSTABLE	JNT	JOINT
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
AFG	ABOVE FINISHED GRADE	LTG	LIGHTING
ALT	ALTERNATE, ALTERNATIVE	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
ANCH	ANCHOR	MDO	MEDIUM DENSITY OVERLAY
APPROX	APPROXIMATELY	MDF	MEDIUM DENSITY FIBER BOARD
ARCH	ARCHITECT, ARCHITECTURAL		
BB	BASEBOARD	MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BLW	BELOW	MO	MASONRY OPENING
BM	BEAM	MTL	METAL
B/O	BOTTOM OF		
BRD	BOARD	N	NORTH
BTW	BETWEEN	(N)	NEW
CAB	CABINET	NIC	NOT IN CONTRACT
CALC	CALCULATION	NTS	NOT TO SCALE
CL	CENTERLINE		
CJNT	CONTROL JOINT	OCCUP	OCCUPANTS, OCCUPANCY
CLG	CEILING	OL	OCCUPANCY LOAD
CLR	CLEAR	O/	OVER
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CNTR	COUNTER, COUNTER SUNK	OPG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	ORD	OVERFLOW ROOF DRAIN
CONT	CONTINUOUS		
CORR	CORRIDOR	PNT	PAINT
CPT	CARPET	PEN	PENETRATION
CT	CERAMIC TILE	PERP	PERPENDICULAR
CTR	CENTER	PJ	PANEL JOINT
		PL	PROPERTY LINE
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DEG	DEGREE	PLWD	PLYWOOD
DEPT	DEPARTMENT	PR	PAIR
DIA	DIAMETER	PRELIM	PRELIMINARY
DIM	DIMENSION	PT	PRESSURE TREATED
DISP	DISPENSER	PTN	PARTITION
DN	DOWN		
DS	DOWN SPOUT	R	RISER
DW	DISHWASHER	REC	RECOMMENDED
DWG	DRAWING	REF	REFERENCE
E	EAST	REFR	REFRIGERATOR
EA	EACH	REINF	REINFORCED
EL	ELEVATION	REQD	REQUIRED
ELEV	ELEVATOR	RET	RETAINING
ENGR	ENGINEER	R O	ROUGH OPENING
EQ	EQUAL		
EQUIP	EQUIPMENT	S	SOUTH
EQUIV	EQUIVALENT	SC	SOLID CORE
EXP	EXPANSION, EXPOSED	SCHED	SCHEDULE
(E) EXST	EXISTING	SCWD	SOLID CORE WOOD
EXT	EXTERIOR	SF	SQUARE FEET, SQUARE FOOT
FAB	FABRICATE	SHTG	SHEATHING
FD	FLOOR DRAIN	SIM	SIMILAR
FDN	FOUNDATION	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SQ	SQUARE
FEC	FIRE EXTINGUISHER CABINET	SS	STAINLESS STEEL
FF	FINISH FLOOR	STD	STANDARD
FIN	FINISH	STL	STEEL
FLR	FLOOR	STOR	STORAGE
FT	FEET, FOOT	STRUCT	STRUCTURAL
FTG	FOOTING		
FUR	FURRING, FURRED	T	TEMPERED SAFETY GLASS
FV	FIELD VERIFY	T&B	TOP AND BOTTOM
		TEMP	TEMPORARY
GA	GAUGE	T&G	TONGUE AND GROOVE
GALV	GALVANIZED	THRU	THROUGH
GC	GENERAL CONTRACTOR	T/O	TOP OF
GL	GLASS, GLAZING	TOM	TOP OF MASONRY
GRT	GROUT	TOS	TOP OF STEEL
GWB	GYP SUM WALL BOARD	TOSL	TOP OF SLAB
		TOW	TOP OF WALL
HB	HOSE BIB	TYP	TYPICAL
HD	HEAD		
HDWD	HEADWOOD	UNO	UNLESS NOTED OTHERWISE
HDR	HEADER		
HM	HOLLOW METAL	VERT	VERTICAL
HORIZ	HORIZONTAL	VTO	VENT TO OUTSIDE
HR	HOUR	VTR	VENT THROUGH ROOF
HT	HEIGHT		
		W	WEST
		W/	WITH
		W/O	WITHOUT
		WND	WINDOW
		WD	WOOD
		W/R	WATER RESISTANT
		WWF	WELDED WIRE FABRIC

GENERAL PLAN NOTES:

- 1) REFER TO A5 SHEETS FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- 2) ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- 3) INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- 4) ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- 5) REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

GENERAL CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- 2) BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS **BEFORE** PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- 3) WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- 4) CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- 5) CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- 6) REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- 7) DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- 8) FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- 9) PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIALS.

SYMBOLS:

	WINDOW TYPE
	EXTERIOR DOOR TYPE
	DOOR TYPE
	ASSEMBLY TYPE
	SECTION CALL OUT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM FAN
	DOWNSPOUT
	FLOOR DRAIN
	HOSE BIB

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022

DATE:
FEBRUARY 25, 2022

SHEET TITLE:
GENERAL CONDITIONS &
ABBREVIATIONS

SHEET:

G0.1

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION

(REFERENCE SHEET 2 OF 2)

BASIS OF BEARINGS

N 88°33'03" W BETWEEN FOUND MONUMENTATION ALONG SE 40TH ST - NAD83(11) PER GPS OBSERVATIONS

REFERENCES

R1. RECORD OF SURVEY, VOL. 303, PG. 53, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

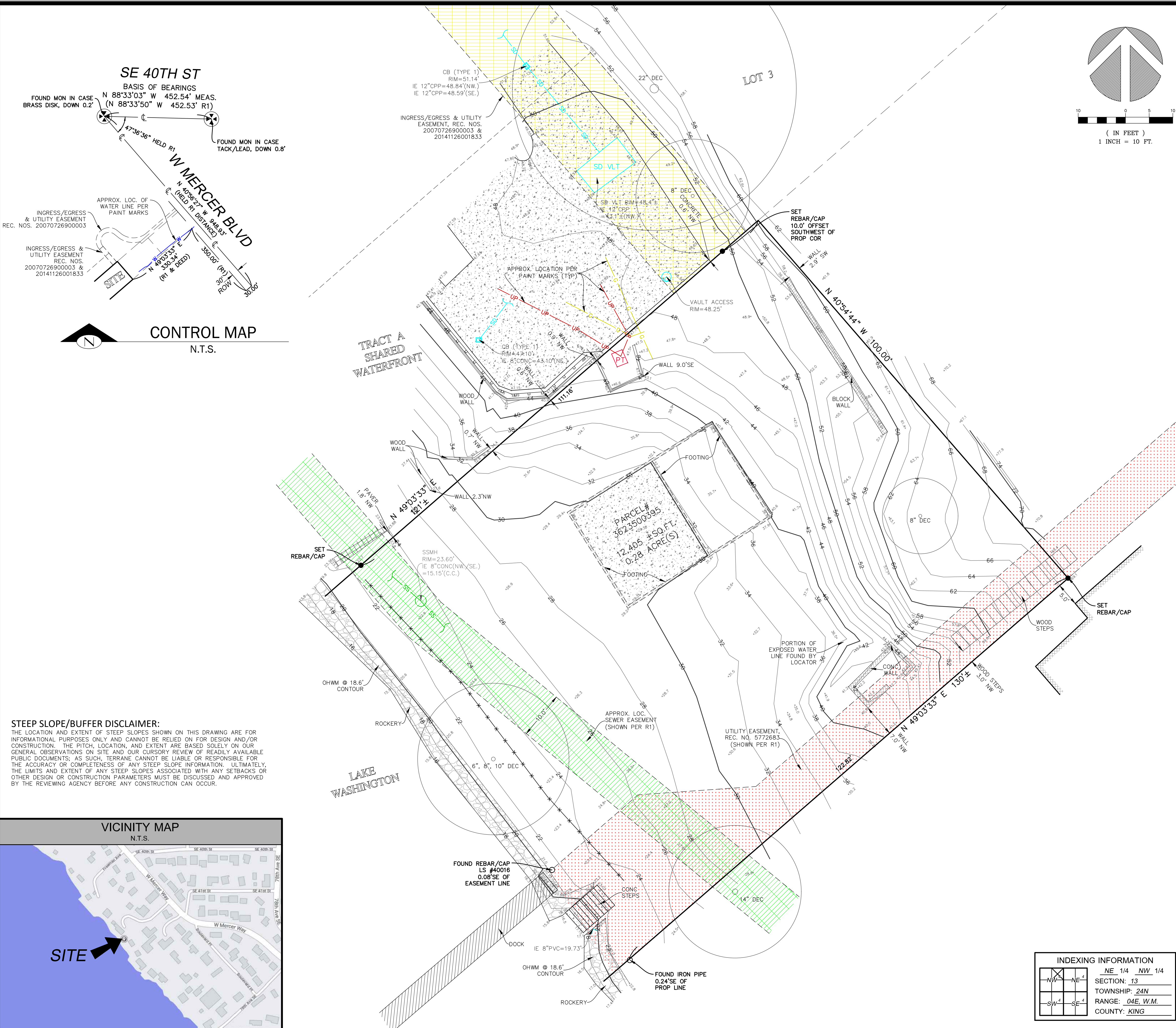
NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

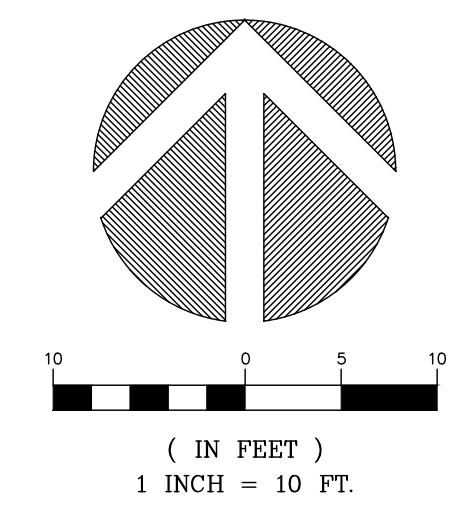
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 362350-0395.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 12,405 ± S.F. (0.28 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE COMPANY'S COMMITMENT NO. 611265349, DATED DECEMBER 10, 2020. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "COMMITMENT". TERRANE, INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	BUILDING		MONUMENT IN CASE (FOUND)
	CENTERLINE ROW		PAVER SURFACE
	CULVERT PIPE		POWER (UNDERGROUND)
	CONCRETE SURFACE		POWER TRANSFORMER
	RETAINING WALL		WATER LINE
	ACCESS EASEMENT		ROCKERY
	SEWER EASEMENT		SEWER LINE
	UTILITY EASEMENT		SEWER MANHOLE
	DECK		STORM MANHOLE
	FENCE LINE (CHAIN LINK)		STORM DRAIN LINE
	GUARD RAIL		STORM DRAIN VAULT
	GAS LINE		INLET (TYPE 1)
	REBAR/IRON PIPE AS NOTED (FOUND)		TREE (AS NOTED)
	REBAR & CAP (SET)		



STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 3623500395

MIST PROPERTY
 4045 W MERCER WAY
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	202326
DATE:	02/12/21
DRAFTED BY:	IDV-GKD
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
SHEET NUMBER	
1 OF 2	

INDEXING INFORMATION	
NE 1/4	NW 1/4
SECTION: 13	TOWNSHIP: 24N
RANGE: 04E	W.M.
COUNTY: KING	

LEGAL DESCRIPTION

PARCEL I:
 THAT PORTION OF THE SOUTHEASTERLY HALF OF LOT 5 AND THE NORTHWESTERLY HALF OF LOT 6, BLOCK C, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, AND SECOND CLASS SHORELANDS ADJOINING, DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID NORTHWEST HALF OF LOT 6; THENCE SOUTH 49°02'46" WEST, ALONG THE SOUTHEASTERLY LINE THEREOF, 330.34 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 49°02'46" WEST, 126 FEET, MORE OR LESS, TO THE OUTER LIMITS OF THE SHORELANDS OF LAKE WASHINGTON; THENCE NORTHWESTERLY, ALONG SAID OUTER LIMITS, TO A POINT ON THE SOUTHWESTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID SOUTHEASTERLY HALF OF LOT 5; THENCE NORTH 49°02'46" EAST, ALONG SAID NORTHWESTERLY LINE, 121 FEET, MORE OR LESS, TO A POINT WHICH BEARS NORTH 40°55'31" WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 40°55'31" EAST, 100.00 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH AN UNDIVIDED INTEREST IN THE NORTHWESTERLY 10 FEET OF THE NORTHEASTERLY 203 FEET OF SAID SOUTHEASTERLY HALF OF LOT 5.

(AS DELINEATED AS MI CABANA LLC PARCEL C, BOUNDARY SURVEY FOR KING COUNTY SUPERIOR COURT CASE NO. 10-2-45130-7 RECORDED IN VOLUME 288 OF SURVEYS, PAGES 211 AND 212 UNDER RECORDING NO. 20120613900001 AND CORRECTED BY SURVEY RECORDED IN VOLUME 303 OF SURVEYS, PAGES 53 AND 54 UNDER RECORDING NO. 20131023900005, RECORDS OF KING COUNTY, WASHINGTON.)

PARCEL II:
 A NON-EXCLUSIVE EASEMENT FOR ACCESS DRIVEWAY CREATED IN THAT CERTAIN MASTER EASEMENT AND COST-SHARING AGREEMENT RECORDED UNDER RECORDING NO. 20141126001833, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SCHEDULE B ITEMS

- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY
 PURPOSES: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE
 RECORDING DATE: MAY 26, 1953
 RECORDING NO.: 4351718
 AFFECTS: PORTION OF SAID LAND
"AS CONSTRUCTED - AFFECTS SE 1/2 OF LOT"
- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: MERCER ISLAND SEWER DISTRICT
 PURPOSES: SEWER PIPE LINE(S) AND APPURTENANCES
 RECORDING DATE: MAY 6, 1959
 RECORDING NO.: 5028740
 AFFECTS: THE WESTERLY PORTION
"NOT PLOTTED - AS CONSTRUCTED"
- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 PURPOSES: INGRESS AND EGRESS AND UTILITIES
 RECORDING DATE: JUNE 26, 1964
 RECORDING NO.: 5753801
 AFFECTS: THE SOUTHEASTERLY PORTION
 THE TERMS OF SAID EASEMENT HAVE BEEN MODIFIED BY JUDGMENT FILED IN KING COUNTY SUPERIOR CAUSE NO. 96-2-31077-B.
 PARTIAL RELEASE AND TERMINATION OF INGRESS AND EGRESS AND UTILITIES EASEMENT RECORDED UNDER RECORDING NUMBER 20170526000619.
"EASEMENT TERMINATED IN 2017, HOWEVER ANY UTILITIES WITHIN THE SWLY 5' OF THE NE'LY 155' OF THE SE 1/2 OF PARCEL SHALL REMAIN VALID"
- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 PURPOSES: UTILITIES
 RECORDING DATE: AUGUST 11, 1964
 RECORDING NO.: 5772683
 AFFECTS: THE SOUTHEASTERLY PORTION
"PLOTTED - PER REC. NO. 20131023900005"
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS AS SET FORTH IN THE STATUTORY WARRANTY DEED.
 RECORDING DATE: MAY 8, 1974
 RECORDING NO.: 7405080269
"NOT PLOTTED - ALLOWS FOR THE CONSTRUCTION OF A DOCK AND A GARAGE"
- TERMS AND CONDITIONS OF NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES, RECORDED UNDER RECORDING NUMBER 7712060812.
"BLANKET IN NATURE"
- RECIPROCAL EASEMENTS, FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CREATED BY THE FOLLOWING DOCUMENT:
 DOCUMENT: EASEMENT AGREEMENT
 EXECUTED BY: WILBERT C. ANDERSON AND SUZENNE H. ANDERSON; AND STAVE AND BECKY SHOWALTER
 PURPOSES: WALKWAYS; MAINTENANCE OF ROCKERY AND FENCE; AND RIGHT OF WAY TO TRIM TREES
 RECORDING DATE: APRIL 18, 1988
 RECORDING NO.: 8804180124
 AFFECTS: PORTIONS OF SAID LAND
 THE TERMS OF SAID EASEMENT HAVE BEEN MODIFIED BY JUDGMENT FILED IN KING COUNTY SUPERIOR CAUSE NO. 96-2-31077-B.
"NOT PLOTTED - REFERS TO LOCATION OF A WALKWAY AND A ROCKERY, AS CONSTRUCTED"
- WALKWAY EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: MARCH 23, 1989
 RECORDING NO.: 8903230062
"NOT PLOTTED - EASEMENT AFFECTS NE ADJOINING PARCEL"
- MATTERS CONTAINED IN THAT CERTAIN DRIVEWAY MAINTENANCE AGREEMENT WHICH DOCUMENT, AMONG OTHER THINGS, MAY PROVIDE FOR LIENS AND CHARGES.
 RECORDING DATE: DECEMBER 18, 1990
 RECORDING NO.: 9012180990
"BLANKET IN NATURE"
- TERMS AND CONDITIONS OF PROVISIONS CONTAINED IN JUDGMENT NUMBER 98-9-07729-3, FILED IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 96-2-31077-B, REGARDING APPURTENANCE EASEMENTS AND RIGHTS THERETO.
 PEDESTRIAN EASEMENT TERMINATION RECORDED UNDER RECORDING NUMBER 20160802001219.
"NOT PLOTTED - TERMINATION OF PEDESTRIAN EASEMENT"
- COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS AS SET FORTH ON THE CITY OF MERCER ISLAND SHORT SUBDIVISION NO. SUB05-006:
 RECORDING NO: 20070726900003
"PLOTTED"

- ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY SURVEY,
 RECORDING DATE: APRIL 14, 2010
 RECORDING NO.: 20100414900004
 PURPOSES: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE
 MATTERS SHOWN: LOCATION OF WOOD STAIRS IN THE SOUTHEASTERLY PORTION AND AN ENCRoACHMENT OF WOOD RETAINING WALL ONTO THE NORTHWESTERLY ADJACENT PROPERTY.
"CURRENT CONDITIONS SHOWN"
- COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, STIPULATIONS AND OTHER MATTERS AS SET FORTH IN THE JUDGMENT QUIETING TITLE AND ORDER DISMISSING REMAINING CLAIMS FOR KING COUNTY COURT CASE NO. 10-2-45130-7:
 RECORDING NO: 20120702000622
 NOTE: THE COMPANY QUESTIONS THE VALIDITY OF AN UNDIVIDED ONE-THIRD INTEREST IN THE NORTHWESTERLY 10 FEET OF THE NORTHEASTERLY 203 FEET OF SAID SOUTHEASTERLY ONE-HALF OF LOT 5 STATED THEREIN BASED ON THE CONVEYANCE OF ONE HALF INTEREST OF SAID TRACT BY THAT CERTAIN WARRANTY DEED RECORDED UNDER RECORDING NO. 20050513002477.
 BOUNDARY LINE SURVEY THERETO,
 RECORDING DATE: JUNE 13, 2012
 RECORDING NO.: 20120613900001
 AMENDMENT OF SAID SURVEY,
 RECORDING DATE: OCTOBER 23, 2013
 RECORDING NO.: 20131023900005
"CURRENT CONDITIONS SHOWN (R1)"
- INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: SEPTEMBER 18, 2013
 RECORDING NO.: 20130918001578
"BLANKET IN NATURE"
- MASTER EASEMENT AND COST-SHARING AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
 BY AND BETWEEN: HUNSAKER PARKSIDE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY; BRET W. CHATALAS AND ANGELA R. CHATALAS, HUSBAND AND WIFE; AND RAMI KARJIAN AND SUSAN KARJIAN, HUSBAND AND WIFE; MI CABANA, LLC, A WASHINGTON LIMITED LIABILITY COMPANY; AND HUNSAKER PARKSIDE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY
 RECORDING DATE: NOVEMBER 26, 2014
 RECORDING NO.: 20141126001833
 AMONG OTHER THINGS, SAID INSTRUMENT STATES AS FOLLOWS:
 RESCISSION, TERMINATION, EXTINGUISHMENT AND INTENT TO SUPERSEDE PRIOR RECORDINGS, UPON RECORDING, THIS AGREEMENT SHALL RESCIND, TERMINATED, EXTINGUISH, REPLACE AND SUPERSEDE IN WHOLE ALL RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED IN THAT CERTAIN FEBRUARY 11, 2005 DRIVEWAY CONSTRUCTION AGREEMENT REFERENCED IN THE RECORDED FEBRUARY 22, 2005 MEMORANDUM OF AGREEMENT, KING COUNTY RECORDING NUMBER 20050222000834 ("2005 DCA") AND ALL RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED IN THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT, KING COUNTY RECORDING NUMBER 20080331002408 ("2008 EASEMENT"). THE 2005 DCA AND THE 2008 EASEMENT ARE HEREBY AND FOREVER RESCINDED, TERMINATED, EXTINGUISHED, REPLACED AND SUPERSEDED BY THIS AGREEMENT. UPON RECORDING, THE RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED HEREIN SHALL GOVERN AND CONTROL THE REPAIR, MAINTENANCE AND USE OF THE EASEMENT AREA, THE ACCESS DRIVEWAY AND THE SHARED WATERFRONT TRACT.
"BLANKET IN NATURE"
- ARMY CORPS OF ENGINEERS PERMIT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: AUGUST 14, 2015
 RECORDING NO.: 20150814001062
"BLANKET IN NATURE"

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 3623500395

MIST PROPERTY

4045 W MERCER WAY
 MERCER ISLAND, WA 98040

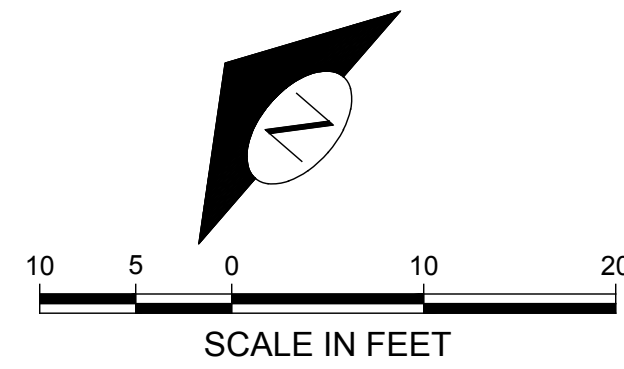


Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	202326
DATE:	02/12/21
DRAFTED BY:	TLR
CHECKED BY:	JGM/CSP
SCALE:	N.T.S.
REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
SHEET NUMBER	
2 OF 2	

INDEXING INFORMATION	
NE 1/4	NW 1/4
SECTION: 13	TOWNSHIP: 24N
RANGE: 04E, W.M.	COUNTY: KING

W MERCER BLVD.
N 40°56'27" W 948.93' (HELD R1 DISTANCE)



KEY NOTES:		
KEY	NOTE:	DETAIL/SHEET
SD	INSTALL TEMPORARY INLET PROTECTION ON EX SD INLET OR CLOSEST SD INLET DOWNSTREAM OF SITE	D/C05
CE	INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	A/C05
PP	INSTALL APPROX 365 LF PERIMETER PROTECTION*	B/C01 B/C05
ME	TREE PROTECTION FENCING	A/C01
SP	PROPOSED STOCKPILE LOCATION. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	-
SW	CONTRACTOR TO SWEEP ROAD DAILY OR MORE OFTEN IF NECESSARY TO REMOVE TRACKED SEDIMENT	-
RE	ALL EX ONSITE HARD SURFACES (INCLUDING STAIRS/FENCE/WALLS) TO BE REMOVED UNLESS OTHERWISE NOTED	-
SA	SOIL AMENDMENT (TYP)	-
1	TREE TO REMAIN	-
2	CONTRACTOR TO PROTECT EX STORM INFRASTRUCTURE (TYP)	-
3	CUT AND CAP EX GAS SERVICE AT PROPERTY LINE FOR REUSE. COORDINATE WITH UTILITY OWNER (BY OTHERS)	-
4	POWER TRANSFORMER VAULT TO BE RELOCATED. COORDINATE WITH UTILITY OWNER (BY OTHERS)	-
5	WALL TO BE REMOVED	-
6	EX ROCKERY BULKHEAD AND STAIRS TO REMAIN	-
7	LOCATION OF EX SSS CONNECTION TO SEWER MAIN IS SHOWN APPROXIMATELY PER CITY GIS INFORMATION. CONTRACTOR TO LOCATE AND CAP FOR REUSE. CONSULT ON-SITE INSPECTOR TO DETERMINE IF STUB IS IN ADEQUATE CONDITION FOR REUSE. PROTECT THROUGHOUT CONSTRUCTION	-
8	INTERCEPTOR SWELL PER DOE BMP C200 (TYP)	-
9	120 SF (MIN SURFACE AREA) SEDIMENT TRAP WITH OUTLET TO LAKE	C/C05
10	MINIMAL CONSTRUCTION DISTURBANCE TO OCCUR WITHIN THIS AREA. REMOVE WOOD STEPS BY HAND	-

PROJECT INFORMATION:

ADDRESS:
4045 W MERCER WAY
MERCER ISLAND, WA 98040
"WESTVIEW RESIDENCE"

OWNER/APPLICANT:
MIST LLC
7683 SE 27TH ST, UNIT #418
MERCER ISLAND, WA 98040
CONTACT: FERAS ALROUK

ARCHITECT:
MCCLELLAN ARCHITECTS
3309 WALLINGFORD AVE N
SEATTLE, WA 98103
PH: (206) 728.0480
CONTACT: JOEY PASQUINELLI

CIVIL ENGINEER:
DAVIDO CONSULTING GROUP, INC.
9706 4TH AVE NE, SUITE 300
SEATTLE, WA 98115
PH: (206) 523.0024
CONTACT: BEN IDDINS, P.E.

SURVEYOR:
TERRANE
10801 MAIN STREET, SUITE 102,
BELLEVUE, WA 98004
PH: (425) 458.4488

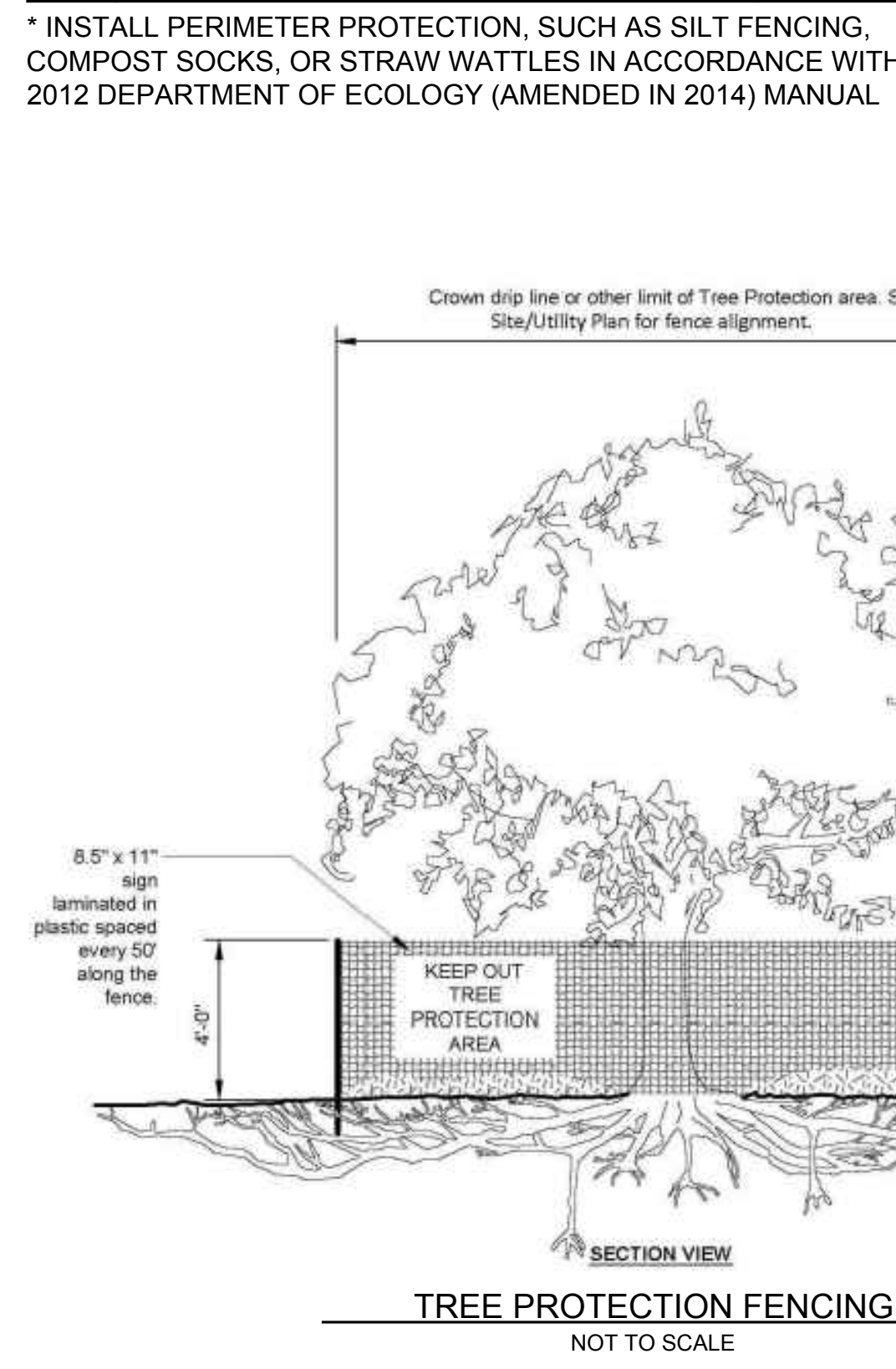
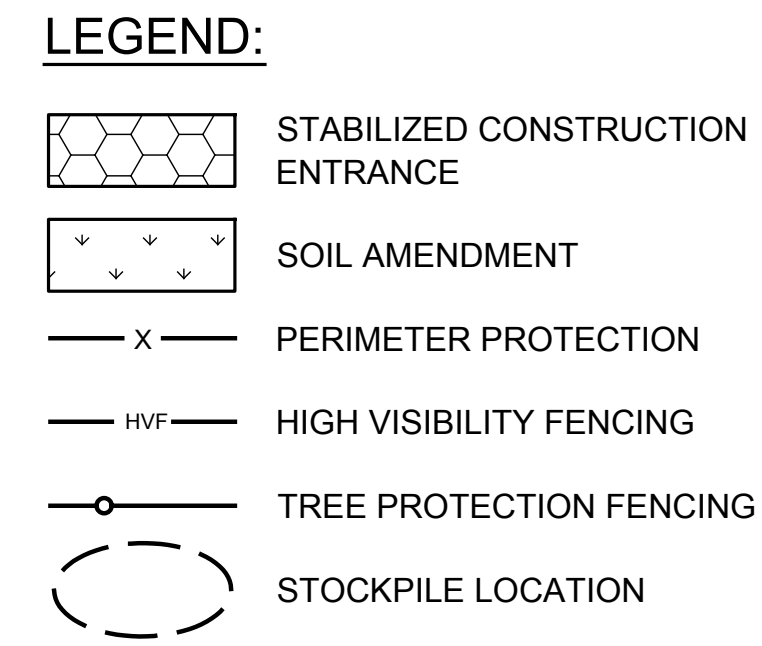
GEOTECHNICAL ENGINEER:
GEOTECH CONSULTANTS, INC.
2401 10TH AVE E
SEATTLE, WA 98102
PH: (435) 747.5618
CONTACT: ADAM MOYER

GENERAL NOTES:

- PER GEOTECHNICAL REPORT, "IF WET WEATHER CONSTRUCTION IS ANTICIPATED, TWO PARALLEL SILT FENCES SHOULD BE INSTALLED ALONG THE SHORELINE."

ABBREVIATIONS:

BM = BENCHMARK
BOTS = BOTTOM OF STAIR
CB = CATCH BASIN
CONC = CONCRETE
DOE = DEPARTMENT OF ECOLOGY
EX = EXISTING
EG = EXISTING GRADE
FF = FINISHED FLOOR
FG = FINISHED GRADE
FL = FLOWLINE
IE = INVERT ELEVATION
LSCAPE = LANDSCAPING
M.I.C. = MONUMENT IN CASE
NO. = NUMBER
STD = STANDARD
TOC = TOP OF CURB
TOP = TOP OF PAVEMENT
TOPS = TOP OF STAIR
TYP = TYPICAL



Notes:

- No pruning shall be performed unless under the direction of an arborist.
- No equipment shall be stored or operated inside the protective fencing including during fence installation and removal.
- No storage of materials shall occur inside the protective fencing.
- Refer to Site/Utility Plan for any modifications to the Tree Protection Area.
- Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required.
- Exposed Roots: For roots >1" damaged during construction, make a clean straight cut to removed damaged portion and inform city arborist.

Tree Protection fence: High density polyethylene fencing with 3.5" x 1.5" openings. Color: orange. Steel posts installed at 8' o.c.
2" x 8" steel posts or approved equal.
5" thick layer of mulch.

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.

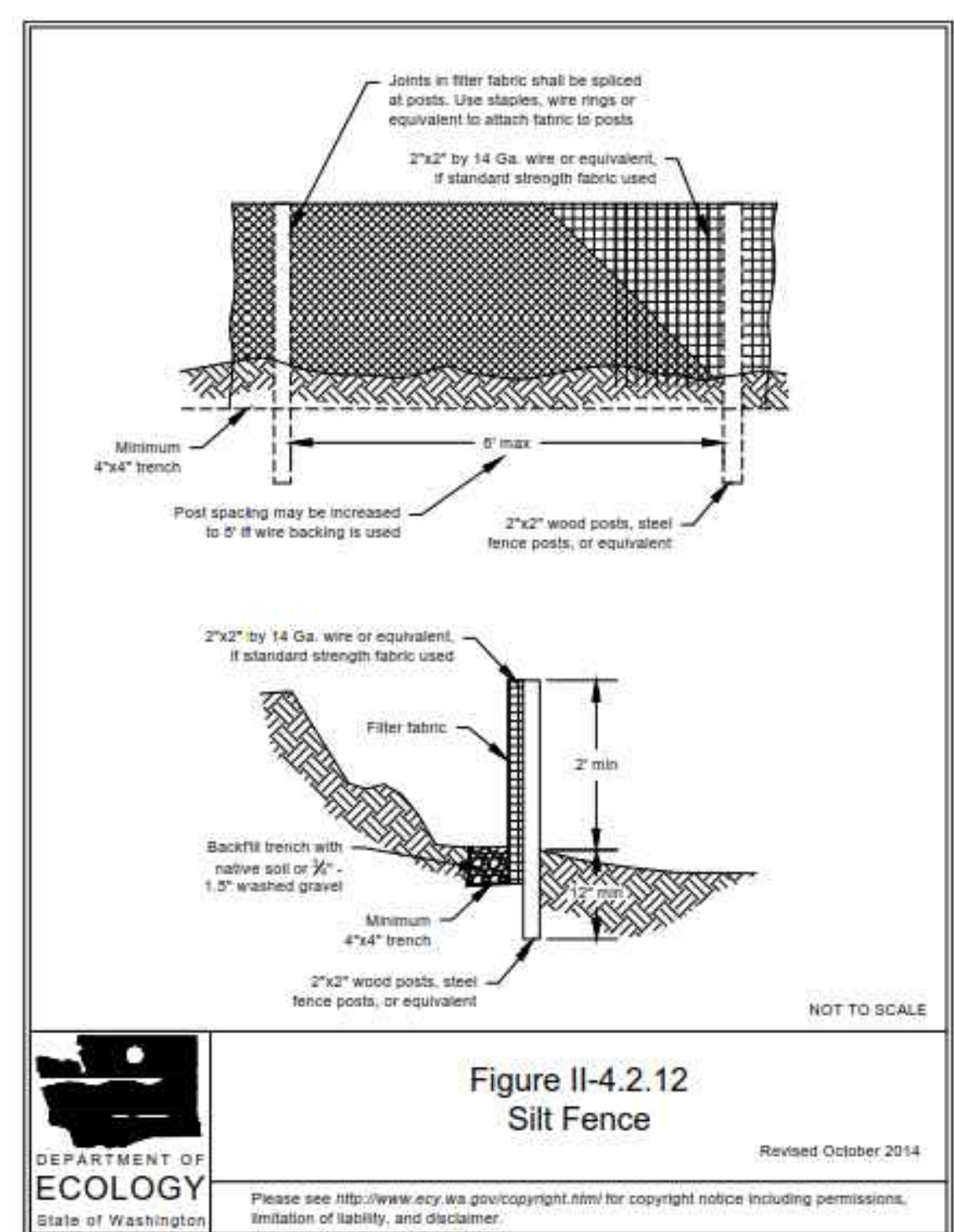
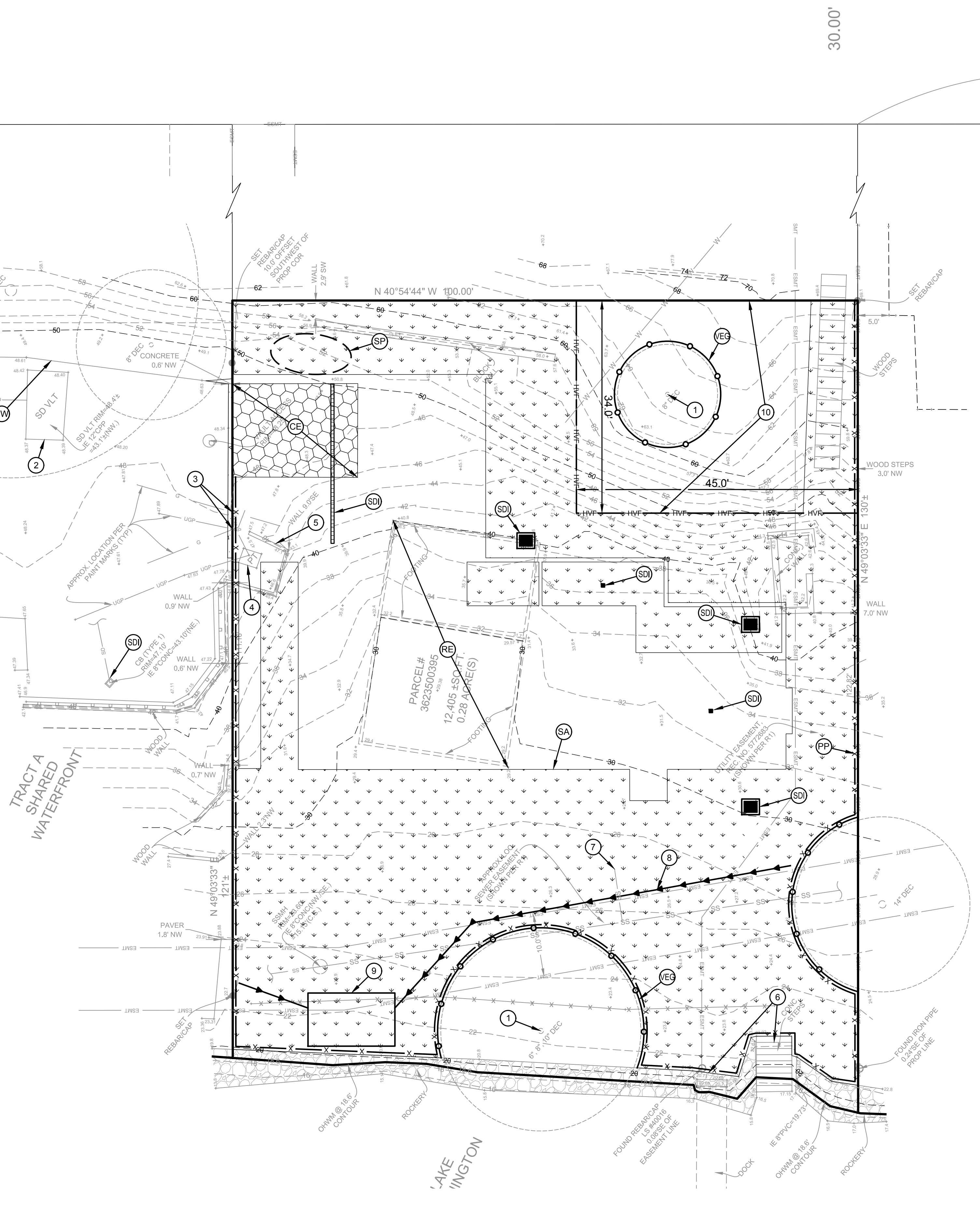


Figure II-4.2.12 Silt Fence
Revised October 2014
DEPARTMENT OF ECOLOGY
State of Washington
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, inclusion of liability, and disclaimer.

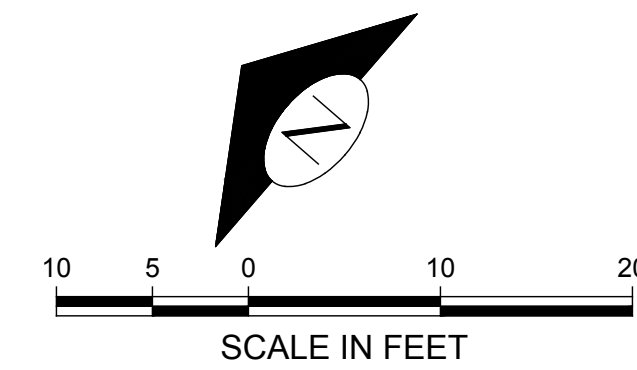


SMALL PARCEL ESC PLAN

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.

<p>7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040</p>	
<p>4045 WEST MERCER WAY MERCER ISLAND, WA 98040 SMALL PARCEL ESC PLAN</p>	
<p>OWNER: MIST LLC- ATTN: FERAS ALROUK</p>	
<p>PROJECT: 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040</p>	
<p>PROJ. MANAGER: BI DESIGNED BY: JL DRAWN BY: GS CHECKED BY: BI</p>	
<p>SCALE: AS SHOWN</p>	
<p>DATE: 2/16/2022</p>	
<p>SHEET NUMBER: C01</p>	
<p>9706 4th Ave NE Suite 300 Seattle, WA 98115 P: 206.523.0024 F: 206.523.1072 www.dcgengr.com</p>	
<p>DCG civil structural</p>	
<p>CALL 811 2 BUSINESS DAYS BEFORE YOU DIG UNDERGROUND UTILITY LOCATIONS ARE APPROX.</p>	
<p>BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, ASR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.</p>	
<p>LEED ACCREDITED PROFESSIONAL & THE RELATED ARCHITECTURAL, ENGINEERING, AND CONSTRUCTION SERVICES PROVIDED BY THE FIRM ARE OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.</p>	

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\DRAWING\4045 W MERCER WAY\MERCER ISLAND_BP PLANS.DWG
LAST MODIFIED BY: GERDA - SAVE DATE: 2/16/2022 1:51 PM - SHEET SET: 4045 W MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLENDED D (24.00 X 36.00 INCHES)
AUTOCAD VERSION: CIVIL 3D 2017



LEGEND:

- CONCRETE
- LANDSCAPE
- DECK
- HIGH VISIBILITY FENCING
- TREE PROTECTION FENCING

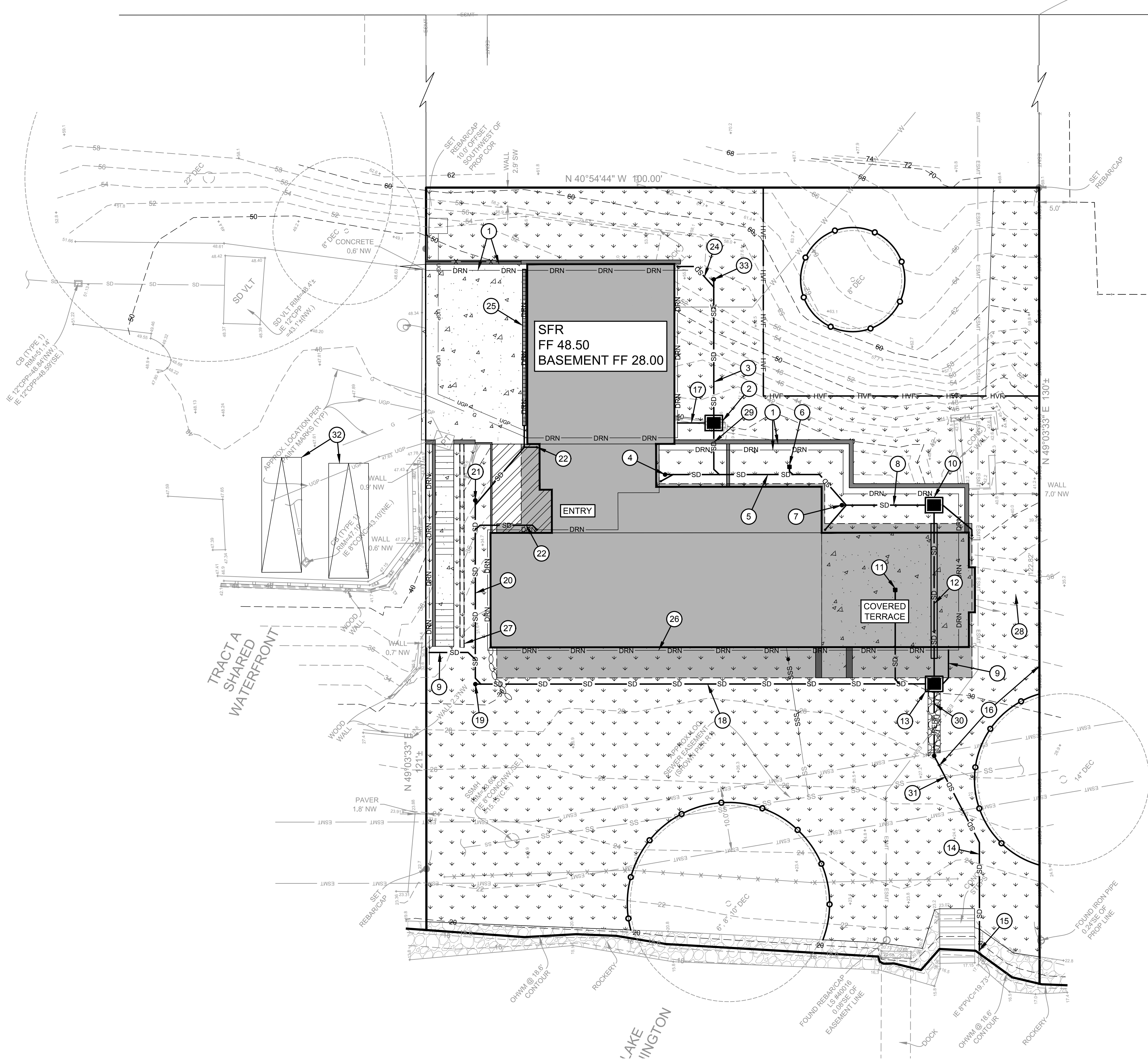
DRAINAGE NOTES:

- ROOF DRAINS:**
- NUMBER AND SIZE SHALL BE IN CONFORMANCE WITH THE UNIFORM PLUMBING CODE.
 - DOWNSPOUTS SHALL BE TIED INTO A NON-PERFORATED, RIGID, SMOOTH-BORE PIPE, WHICH DRAINS TO AN APPROVED STORM SYSTEM.
 - DRAINPIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, GR F-405 FOR SMOOTH-BORE H.D.P.E. PIPE.
 - PROVIDE CLEANOUTS AT THE UPPER END OF THE SYSTEM AND AT EACH CUMULATIVE CHANGE OF DIRECTION IN EXCESS OF 135 DEGREES.
 - ALL PIPE FITTINGS SHALL BE MADE OF THE SAME MATERIAL AS THE STRAIGHT PIPE. GLUED JOINTS SHALL USE A BONDING AGENT RECOMMENDED BY THE PIPE MANUFACTURER.

- FOOTING DRAINS:**
- FOOTING DRAINS SHALL BE INSTALLED AROUND ALL FOUNDATIONS WHICH ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE OR OTHER BUILDING SPACE.
 - DRAINS SHALL BE CONSTRUCTED OF PERFORATED PIPE INSTALLED AT THE BASE OF THE FOOTING.
 - DRAIN PIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, WITH THE PERFORATIONS DIRECTED DOWNWARD.
 - GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE FOOTING DRAIN TO A DEPTH OF 2/3 OF THE HEIGHT OF THE WALL.

- GENERAL:**
- SLOPE ALL DRAIN LINES AT 2% MINIMUM TOWARD THE OUTLET.
 - PROVIDE CLEANOUTS OR CONTROL STRUCTURES AS APPROPRIATE.
 - ALL DRAINAGE PIPING AND STRUCTURES ARE SUBJECT TO INSPECTION PRIOR TO BACKFILLING.
 - ROOF AND FOOTING DRAINS MAY BE COMBINED BEYOND THE LOWEST POINT OF THE FOOTING DRAIN.
 - USE SAND COLLARS AT CB CONNECTIONS TO P.V.C. PIPE.
 - UNLESS OTHERWISE SPECIFIED, 6" STORM DRAIN PIPE FOR ROOF DRAINS AND SEWER PIPE SHALL BE SDR35 PVC PIPE.
 - ALL FOOTING DRAIN AND PERFORATED PIPE SHALL BE D2729 PVC PIPE WITH THE PERFORATIONS DIRECTED DOWNWARDS.
 - ALL PERF PIPE SHALL BE 4" DIAMETER UNLESS OTHERWISE SHOWN.
 - CONTRACTOR TO VERIFY INVERTS OF STORM DRAIN IN ROW AND ADJUST ONSITE STORM SYSTEM AS NECESSARY.
 - CONTRACTOR TO FIELD LOCATE AND REROUTE ANY POTENTIAL UTILITY CONFLICTS WITH DETENTION FACILITY PRIOR TO CONSTRUCTION.
 - THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS-13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT. CONTRACTOR MUST PROVIDE CIVIL ENGINEER W/ INFORMATION PROVING THE POST-CONSTRUCTION SOILS MEET THESE REQUIREMENTS.

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	SHORING & CATCHMENT WALL. INSTALL PLASTIC BACKED DRAINAGE COMPOSITE (MIRADRAIN OR EQUIVALENT) AND INSTALL WEEP PIPES 6" ON CENTER DRAINING TO THE FOOTING DRAIN. SEE GEOTECHNICAL REPORT FOR FURTHER INFORMATION	-
2	TYPE 1 CB W/ OPEN GRATE LID RIM 40.00 4" IE (N) 37.50 (DS) 4" IE (W) 38.00 (FTG) 4" IE (S) 35.90	G/C05
3	23 LF 4" SD @ 2.00% MIN	-
4	6" SDCO RIM 32.00 6" IE 26.20	H/C05
5	33 LF 6" SD @ 2.00% MIN	-
6	6" AREA DRAIN AND TIGHTLINE RIM 27.75 4" IE 26.00	-
7	6" SDCO RIM 27.90 6" IE 25.50	H/C05
8	14 LF 6" SD @ 2.00% MIN	-
9	FOOTING DRAIN TIGHTLINE @ 2.00% MIN	-
10	TYPE 1 CB W/ OPEN GRATE LID RIM 27.75 4" IE (E) 25.20 (DS) 6" IE (W) 25.20 6" IE (S) 25.10	G/C05
11	6" AREA DRAIN AND TIGHTLINE. MEP TO DETERMINE FINAL ROUTING. CONSULT CIVIL ENGINEER IF CASING PIPE REQUIRED RIM 27.75 4" IE 26.00	-
12	29 LF 6" SD PIPE IN 12" DI SLEEVE UNDER BUILDING SLAB. CONTRACTOR TO INSTALL @ MIN 6" OF COVER FROM BUILDING FOUNDATION ELEVATION (ELEV -26.33) & @ 2.00% MIN SLOPE. CONTRACTOR TO PROVIDE CASING SPACERS AND RUBBER END SEAL ON BOTH ENDS BETWEEN CARRIER PIPE AND CASING PIPE AND IS TO FILL ANNULAR SPACE WITH APPROVED MATERIAL. PIPE WITHIN CASING TO BE RESTRAINED JOINT	-
13	TYPE 1 CB W/ OPEN GRATE LID & OIL/WATER SEPARATOR RIM 27.50 6" IE (E) 25.50 (FTG) 6" IE (N/S/W) 24.50	E/C05 G/C05
14	33 LF 6" SD @ 2.00% MIN	-
15	CONNECT TO EX PVC OUTFALL ON HIGH SIDE OF BULKHEAD/ROCKERY. RESTORE DISTURBED SURFACES IN KIND 6" TO 8" ADAPTER 8" PVC IE 19.73	-
16	DRAINAGE LATERALS FROM ADJACENT SITES MAY CONNECT TO EX LAKE OUTFALL. CONTRACTOR TO DETERMINE IN FIELD AND CONNECT EX TO PROPOSED PIPE (IF PIPES DISCOVERED)	-
17	FOOTING DRAIN TIGHTLINE @ 2.00% MIN (FROM GARAGE CATCHMENT WALL/GARAGE FOOTINGS)	-
18	75 LF 6" SD @ 2.00% MIN	-
19	6" SDCO RIM 31.00 6" IE 27.00	H/C05
20	30 LF 6" SD @ 2.00% MIN	-
21	6" SDCO RIM 43.00 6" IE 39.00	H/C05
22	DS PIPE TO PENETRATE DECK. TIGHTLINE TO DRAINAGE INFRASTRUCTURE	-
23	NOT USED	-
24	ROOF DS AND TIGHTLINE @ 2.00% MIN (TYP)	-
25	6" TRENCH DRAIN W/ 6" OUTLET. OUTLET PIPE TO RUN DOWN WALL FACE AND DRAIN TO KN 21 SDCO RIM 48.50 6" IE 47.00	-
26	PERIMETER FOOTING DRAIN - INSTALL 4" PERFORATED PVC PIPE IN 6" MIN WASHED ROCK (1" MINUS), WRAPPED IN NON-WOVEN GEOTEXTILE FILTER FABRIC AROUND BUILDING FOUNDATION. PROVIDE CLEANOUTS AT CORNERS	-
27	TEMPORARY SHORING WALL. SEE STRUCTURAL & ARCHITECTURAL PLANS FOR FURTHER INFORMATION	-
28	EX INFRASTRUCTURE (FROM NEIGHBORING PROPERTIES) MAY BE LOCATED WITHIN EASEMENT. LOCATE IN FIELD, AND PROTECT EX UTILITIES. CONTACT CIVIL ENGINEER IF NEEDED	-
29	PIPE TO PENETRATE WALL AND CONNECT TO KN 5 PIPE. INSTALL CASING PIPE (CONSULT CIVIL ENGINEER IF NEEDED) VERTICAL BENDS AS NECESSARY	-
30	6" PERFORATED PIPE LAID FLAT EMBEDDED WITHIN 2' W x 10' L GRAVEL. INSTALL SDCO AT END 6" IE 24.50	I/C05
31	STORM AND SEWER MAIN CROSSING. CONTRACTOR TO LOCATE SEWER DEPTH PRIOR TO CONSTRUCTION AND CONSULT CIVIL ENGINEER IF CONFLICTS ARISE 6" STORM IE 23.90 8" SEWER MAIN IE (ASSUMED) 16.00±	-
32	PARKING STALLS PER ARCH PLANS	-
33	6" SDCO RIM 55.00 6" IE 51.00	H/C05



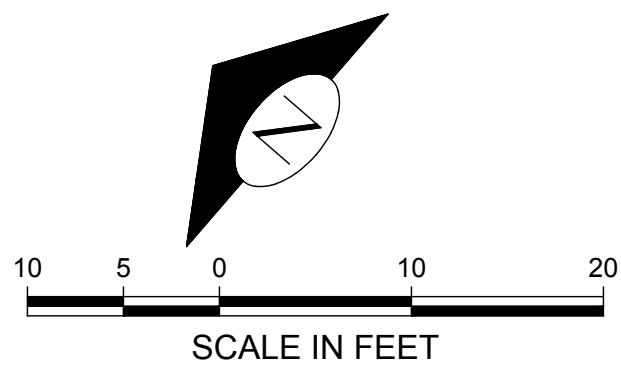
DRAINAGE PLAN

W MERCER BLVD.
N 40°56'27" W 948.93' (HELD R1 DISTANCE)

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\BP PLANS.DWG
 LAST MODIFIED BY: GERDA - SAVE DATE: 2/16/2022 1:51 PM - SHEET SET: 4045 WEST MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (24.00 X 36.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

9706 4th Ave NE Suite 300 Seattle, WA 98115 P: 206 525 0024 F: 206 525 1012 www.dcgengr.com		CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>UNDERGROUND UTILITY LOCATIONS ARE APPROX.</small>		<small>BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, EX PLAN CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.</small>	OWNER: MIST LLC - ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040 PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 DRAINAGE PLAN
REVISION NO. DATE BY					
PROJ. MANAGER: BI DESIGNED BY: JL DRAWN BY: GS CHECKED BY: BI SCALE: AS SHOWN DATE: 2/16/2022 REV. A SHEET 2 OF 5 SHEET NUMBER <h1 style="margin: 0;">C02</h1>					

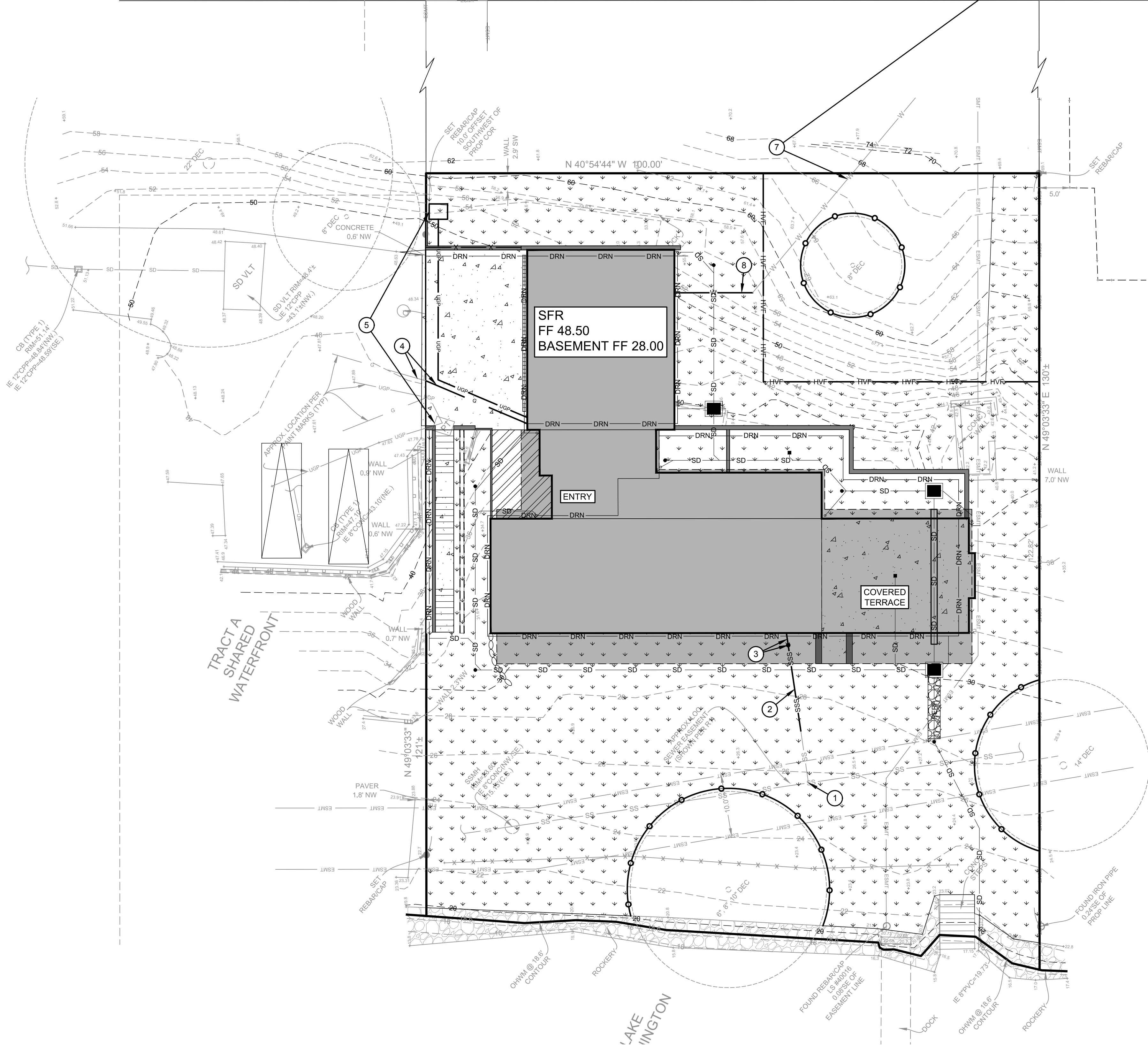
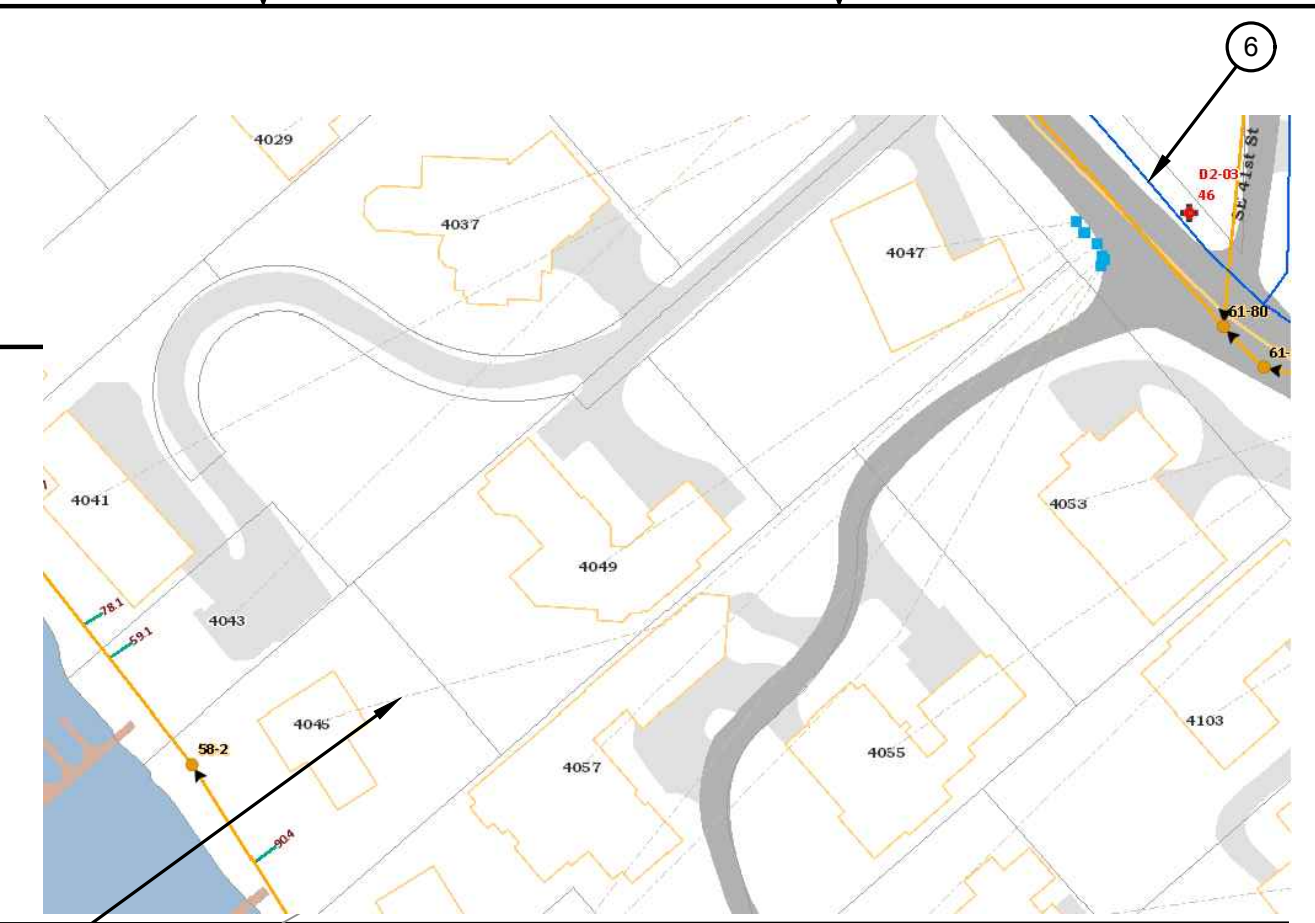
LEED ACCREDITED PROFESSIONALS & THE RELATED ACCREDITED PROFESSIONALS ARE PROVIDED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.



- LEGEND:**
- CONCRETE
 - LANDSCAPE
 - DECK
 - HIGH VISIBILITY FENCING
 - TREE PROTECTION FENCING

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	LOCATION OF EX SSS CONNECTION TO SEWER MAIN IS SHOWN APPROXIMATELY PER CITY GIS INFORMATION. CONTRACTOR TO LOCATE IN FIELD AND CONSULT CIVIL ENGINEER AS NEEDED FOR DESIGN INFORMATION. CONSULT ON-SITE INSPECTOR TO DETERMINE IF STUB IS IN ADEQUATE CONDITION FOR REUSE. PROTECT THROUGHOUT CONSTRUCTION	-
2	16 LF 4" SSS @ 2.00% MIN	-
3	4" SSSCO & BUILDING POINT OF COMPLIANCE RIM 27.50 4" IE 24.50	-
4	APPROXIMATE LOCATION OF EX GAS SERVICE. CONTRACTOR TO LOCATE IN FIELD. COORDINATE WITH PSE IF SERVICE ALLOWED FOR REUSE (BY OTHERS). SERVICE MAY NEED TO BE REPLACED AS REQUIRED BY THE ON-SITE INSPECTOR. IF REPLACEMENT REQUIRED, CONSULT CIVIL ENGINEER	-
5	POWER TRANSFORMER VAULT TO BE RELOCATED. COORDINATE WITH UTILITY OWNER (BY OTHERS). ELECTRICAL SERVICE SHOWN SCHEMATICALLY ONLY	-
6	EX 6" CAST IRON WATER MAIN	-
7	APPROXIMATE LOCATION OF EX WATER SERVICE. EX WATER METER AND SERVICE LINE FROM THE WATER MAIN TO BE REUSED. CONTRACTOR TO LOCATE IN FIELD AND CONSULT ON-SITE MEP AND CITY INSPECTOR FOR REUSE. METER AND SERVICE MAY NEED TO BE REPLACED AS REQUIRED BY THE ON-SITE INSPECTOR/MEP. IF REPLACEMENT REQUIRED, CONSULT CIVIL ENGINEER	-
8	FINAL WATER ROUTING AND CONNECTION TO BUILDING TO BE DETERMINED BY ON-SITE MEP	-

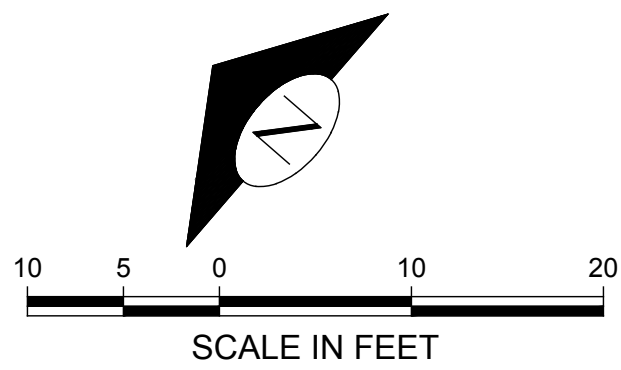
W MERCER BLVD.
N 40°56'27" W 948.93' (HELD R1 DISTANCE)



UTILITY PLAN

CAD FILE NUMBER: P:\CLIENTS\CIVIL\CELLAN ARCHITECTS\4445 WEST MERCER WAY MERCER ISLAND\DRAWING\4445 W MERCER WAY MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: GERDA - SAVE DATE: 2/16/2022 1:51 PM - SHEET SET: 4045 W MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (24.00 X 36.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

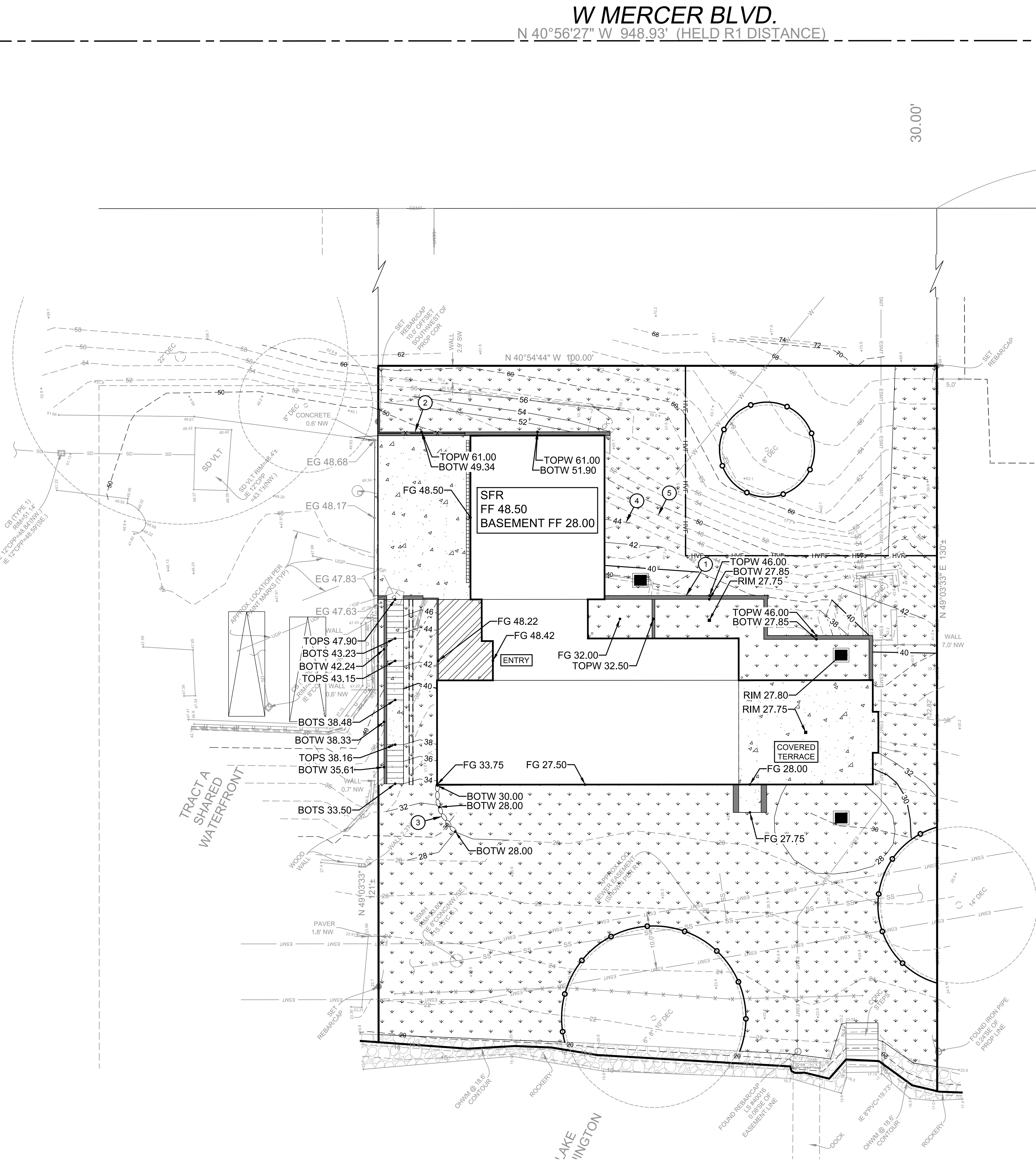
REVISION No. DATE BY	LEED ACCREDITED PROFESSIONALS & THE RELATED WORK AND THE LEED ACCREDITED PROFESSIONALS ARE PROVIDED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.
9706 4th Ave NE Suite 300 Seattle, WA 98115 P: 206 525 0024 F: 206 525 1012 www.dcgengr.com	
CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>UNDERGROUND UTILITY LOCATIONS ARE APPROX.</small>	
BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN ON PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.	
OWNER: MIST LLC- ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040	PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 UTILITY PLAN
PROJ. MANAGER: BI DESIGNED BY: JL DRAWN BY: GS CHECKED BY: BI	
SCALE: AS SHOWN DATE: 2/16/2022 REV. SHEET: A 1 OF 5	
SHEET NUMBER <h1 style="margin: 0;">C03</h1>	



- LEGEND:**
- CONCRETE
 - LANDSCAPE
 - DECK
 - HIGH VISIBILITY FENCING
 - TREE PROTECTION FENCING

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	CATCHMENT WALL TO EXTEND 6' MIN ABOVE EG PER GEOTECHNICAL REPORT	-
2	CATCHMENT WALL TO EXTEND 7' MIN ABOVE EG PER GEOTECHNICAL REPORT	-
3	INSTALL ROCKERY WALL (4' MAX HEIGHT)	-
4	PROPOSED CONTOUR (TYP)	-
5	EX CONTOUR (TYP)	-

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY MERCER ISLAND\DRAWING\4045 WEST MERCER WAY MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: GERDA - SAVE DATE: 2/16/2022 1:51 PM - SHEET SET: 4045 WEST MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (24.00 X 36.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017



GRADING PLAN

W MERCER BLVD.
N 40°56'27" W 948.93' (HELD R1 DISTANCE)

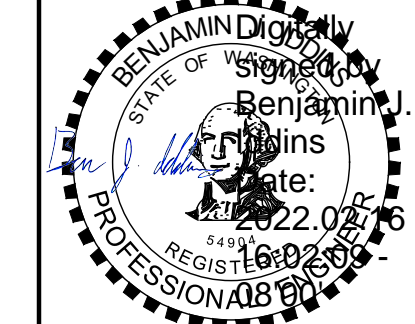
30.00'

No.	DATE	BY	REVISION

9706 4th Ave NE
Suite 300
Seattle, WA 98115
P: 206 525 0024
F: 206 525 1012
www.dcgengr.com



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

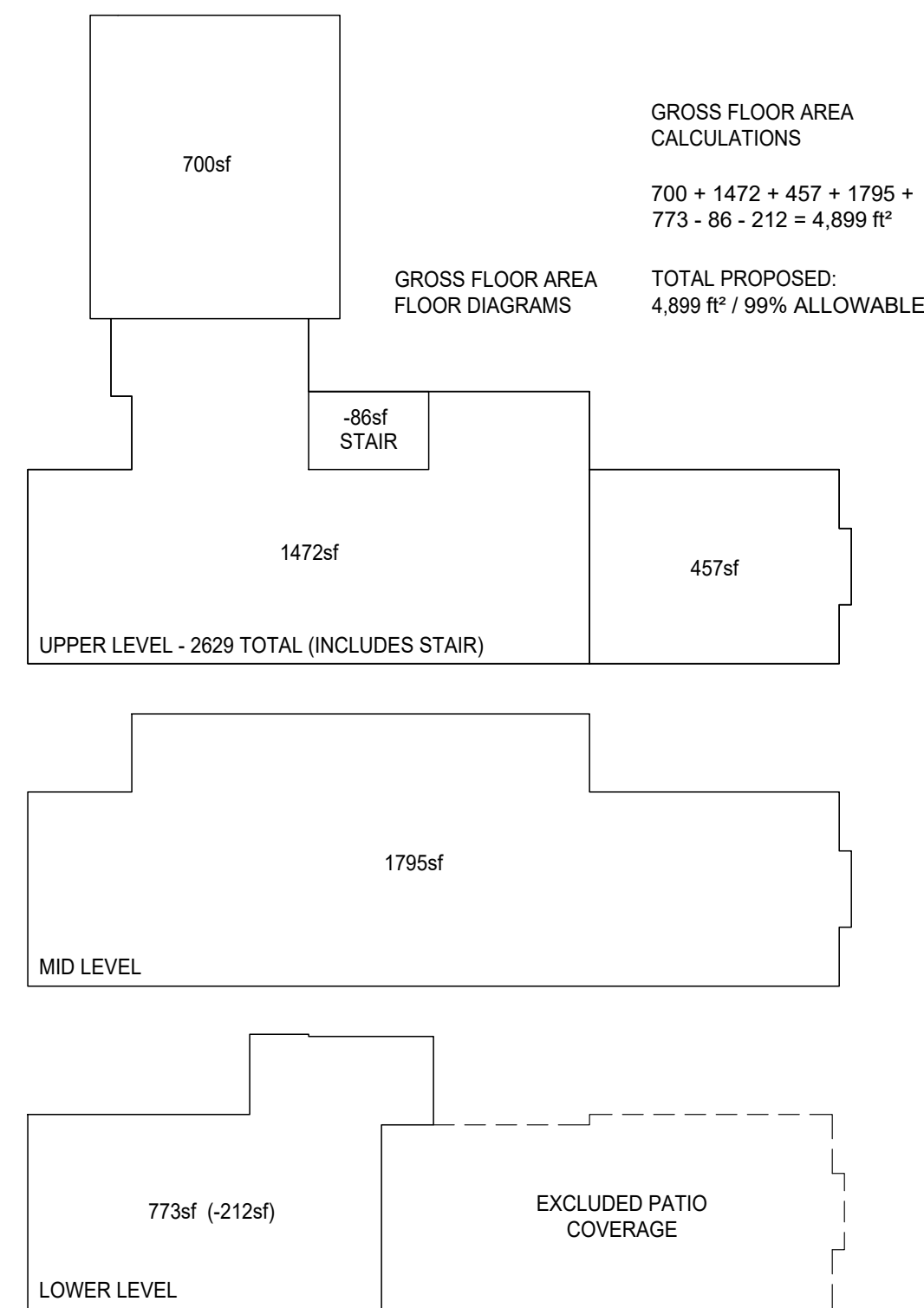


BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, EX PLAN CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: MIST LLC - ATTN: FERAS ALROUK
7683 SE 27TH ST, UNIT #418
MERCER ISLAND, WA 98040
PROJECT: 4045 WEST MERCER WAY
MERCER ISLAND, WA 98040
GRADING PLAN

PROJ. MANAGER:	BI
DESIGNED BY:	JL
DRAWN BY:	GS
CHECKED BY:	BI
SCALE:	AS SHOWN
DATE:	2/16/2022
REV:	A
SHEET:	4
OF:	5

SHEET NUMBER
C04



1 GROSS FLOOR AREA
SCALE: 1/16"=1'-0"

GROSS FLOOR AREA	
PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
UPPER LEVEL*	2,172 ft ²
MID LEVEL =	1,795 ft ²
LOWER LEVEL =	773 ft ²
UPPER LEVEL TERRACE =	457 ft ²
TOP STAIR EXEMPTION =	- 86 ft ²
BASEMENT EXEMPTION =	- 212 ft ²
TOTAL PROPOSED:	4,899 ft² / 39.8%

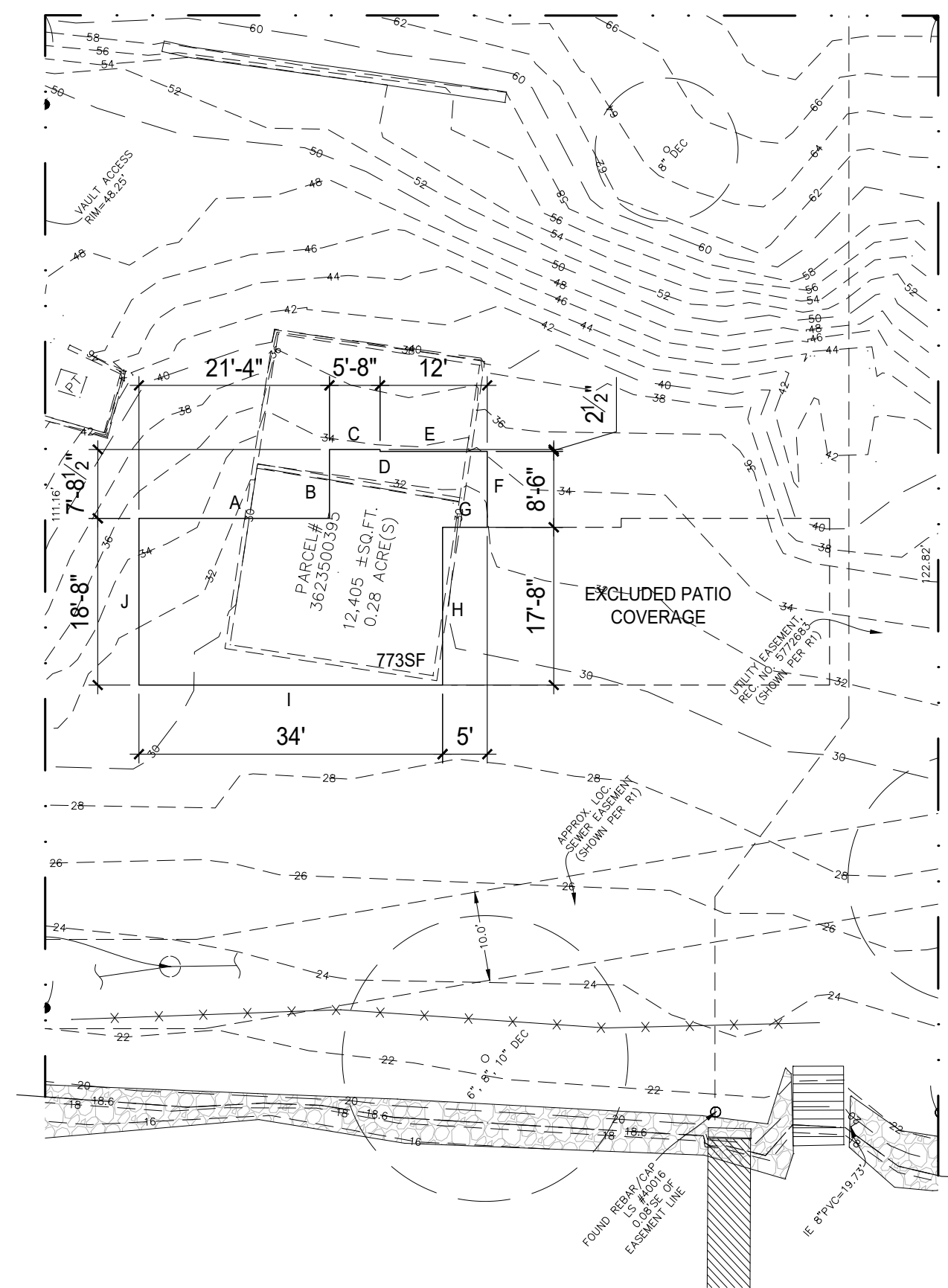
*INCLUDES GARAGE

DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	36.99'

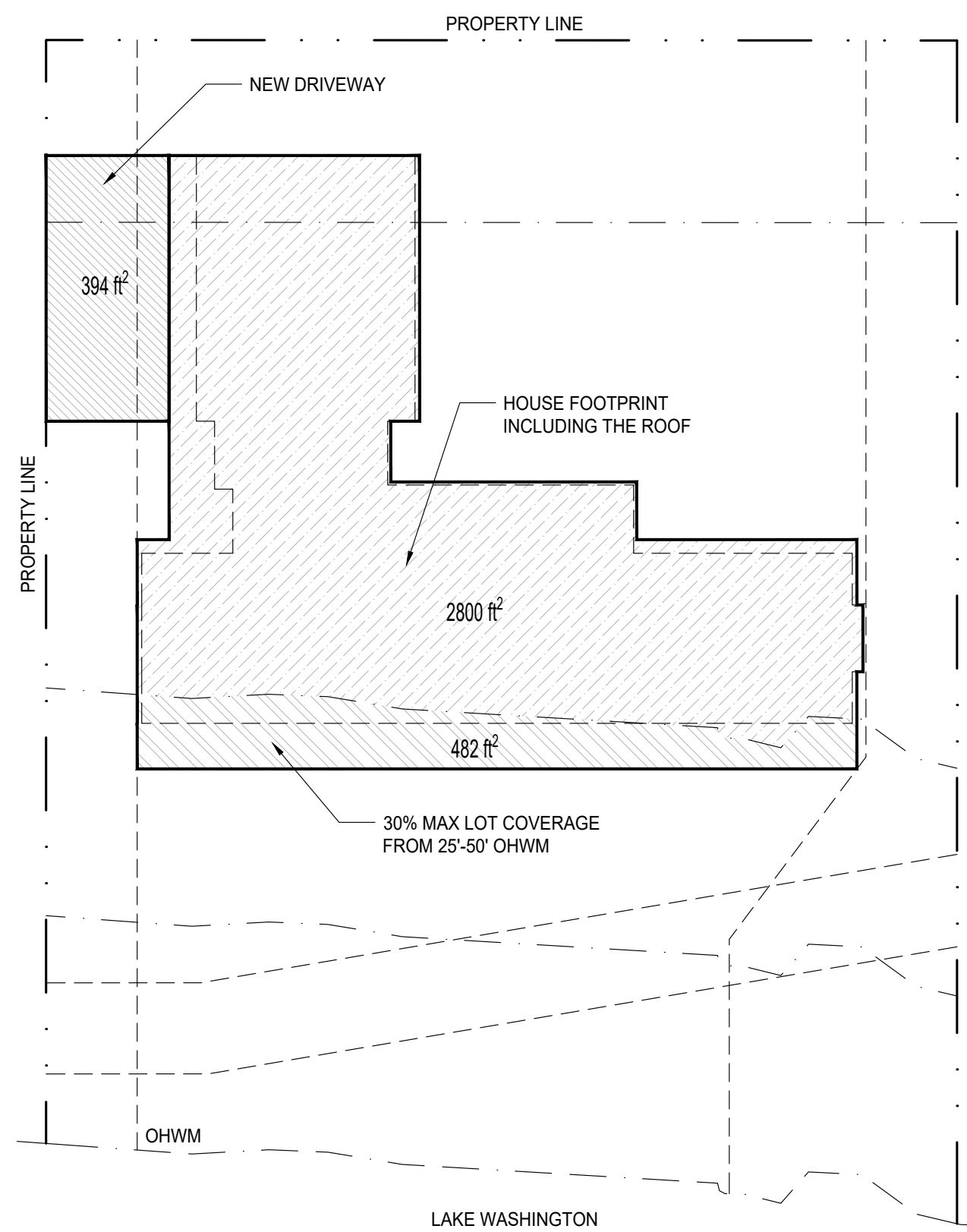
*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,795 ft ²
UPPER LEVEL GROSS	= 1,472 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,740 ft ²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 457 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,638 ft ²

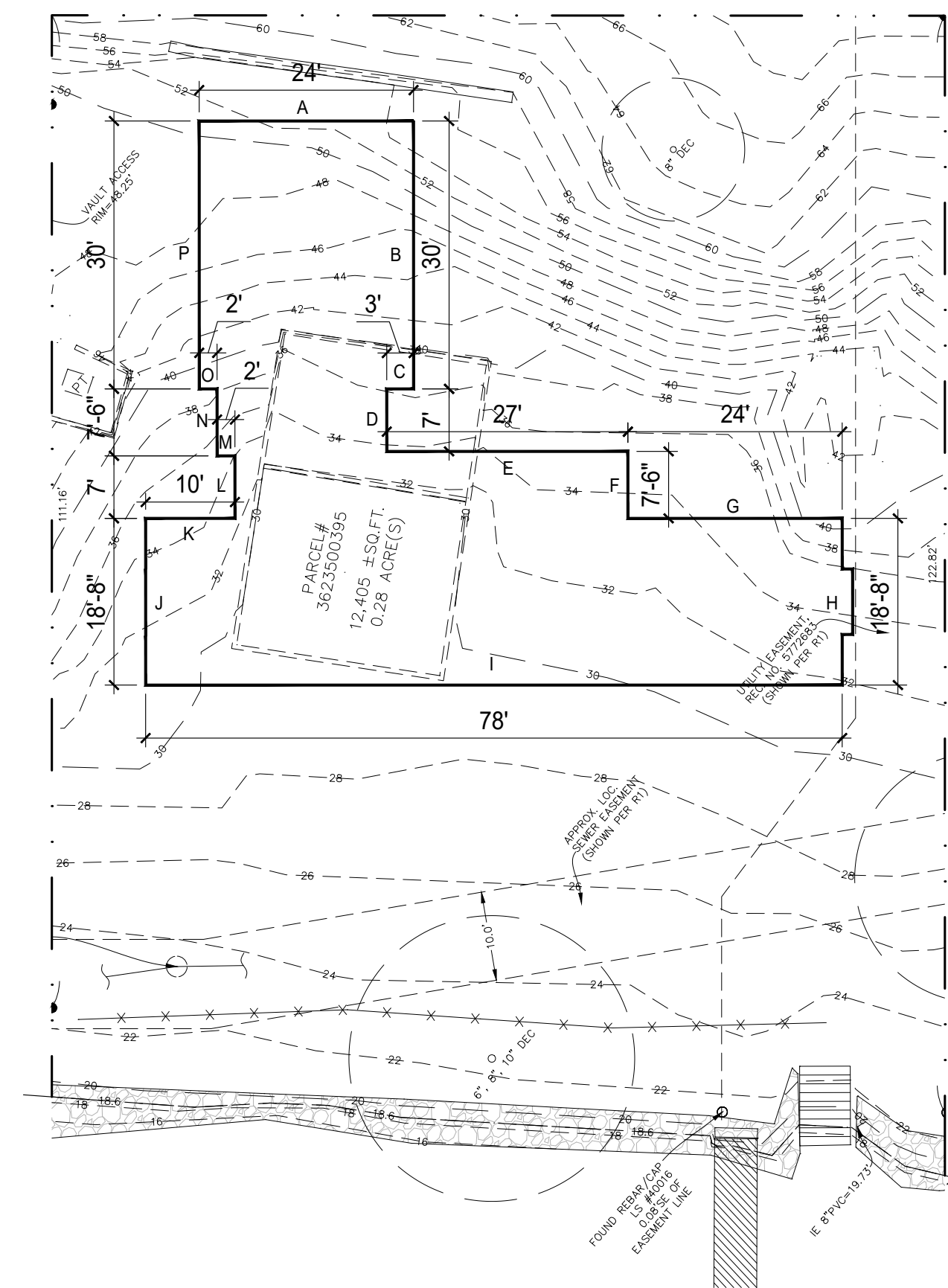
*EXEMPT FROM GFA



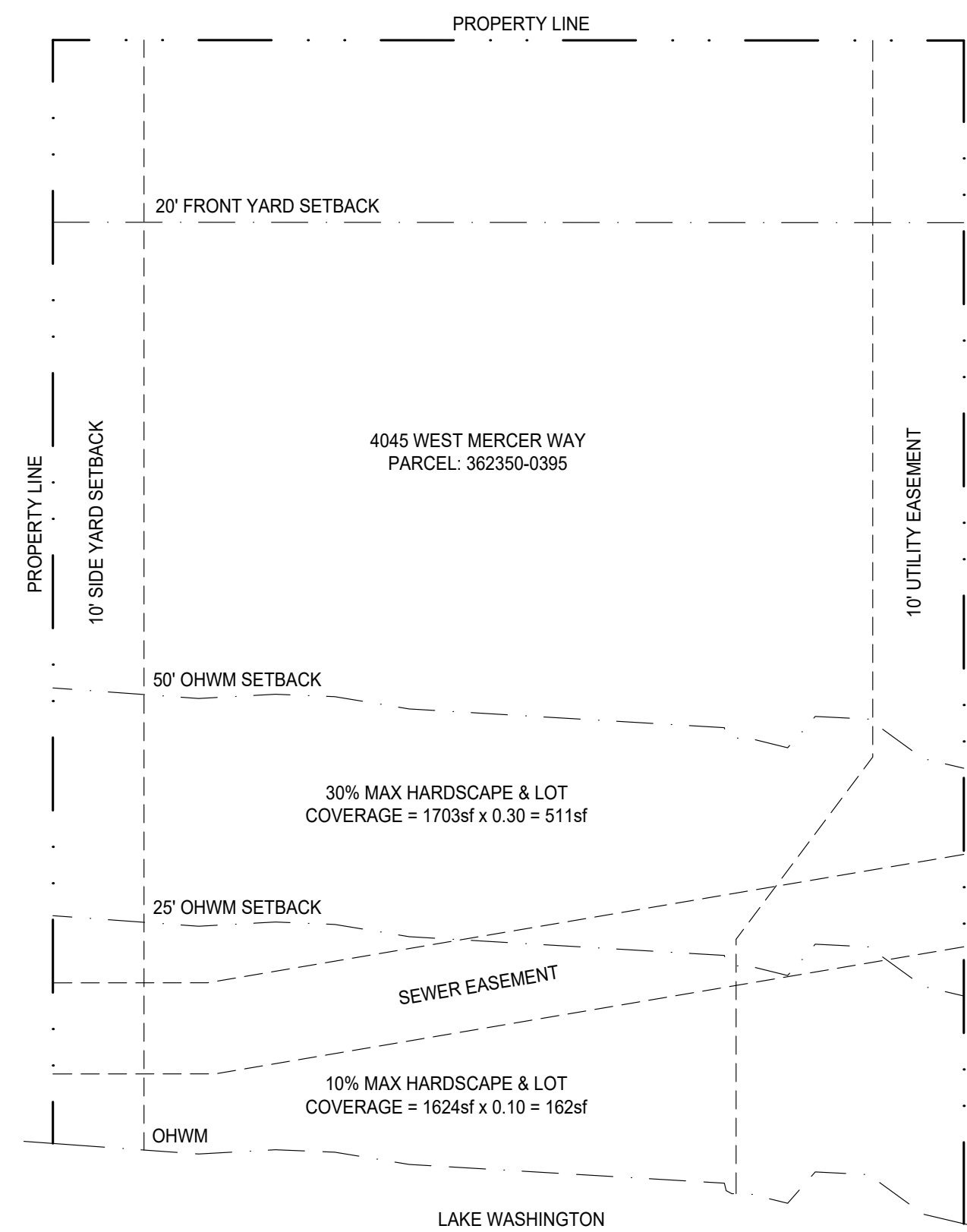
2 GFA BASEMENT CALCS
SCALE: 1/16"=1'-0"



4 LOT COVERAGE
SCALE: 1/16"=1'-0"



3 ABE & SLOPE CALCS
SCALE: 1/16"=1'-0"



5 BUILDING ENVELOPE
SCALE: 1/16"=1'-0"

LOT SLOPE CALCULATIONS

HIGHEST POINT = 68'
LOWEST POINT = 18'
ELEVATION Δ = 50'
HORIZONTAL Δ = 130'

68 - 18 = 50 / 130 = 0.385

LOT SLOPE = 38.5%

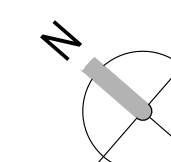
AVERAGE BUILDING ELEVATION CALCULATIONS

A 52.5' = 24'-0"
B 45.0' = 30'-0"
C 36.0' = 3'-0"
D 35.0' = 7'-0"
E 34.5' = 27'-0"
F 34.5' = 7'-6"
G 35.0' = 24'-0"
H 34.5' = 18'-8"
I 29.5' = 78'-0"
J 33.0' = 18'-6"
K 34.5' = 10'-0"
L 33.0' = 7'-0"
M 34.5' = 2'-0"
N 37.0' = 7'-6"
O 38.5' = 2'-0"
P 47.0' = 30'-0"

(52.5 x 24) + (45 x 30) + (36 x 3) + (35 x 7) + (34.5 x 27) + (34.5 x 7.5) + (35 x 24) + (34.5 x 18.8) + (29.5 x 78) + (33 x 18.6) + (34.5 x 10) + (33 x 7) + (34.5 x 2) + (37 x 7.5) + (38.5 x 2) + (47 x 30) = 10,959.25

24 + 30 + 3 + 7 + 27 + 7.5 + 24 + 18.6 + 78 + 18.6 + 10 + 7 + 2 + 7.5 + 2 + 30 = 296.2

A.B.E. = 36.99' MAX HEIGHT = 66.99'



GROSS FLOOR AREA	
PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
UPPER LEVEL*	2,172 ft ²
MID LEVEL =	1,795 ft ²
LOWER LEVEL =	773 ft ²
UPPER LEVEL TERRACE =	457 ft ²
TOP STAIR EXEMPTION =	- 86 ft ²
BASEMENT EXEMPTION =	- 212 ft ²
TOTAL PROPOSED:	4,899 ft² / 39.8%

*INCLUDES GARAGE

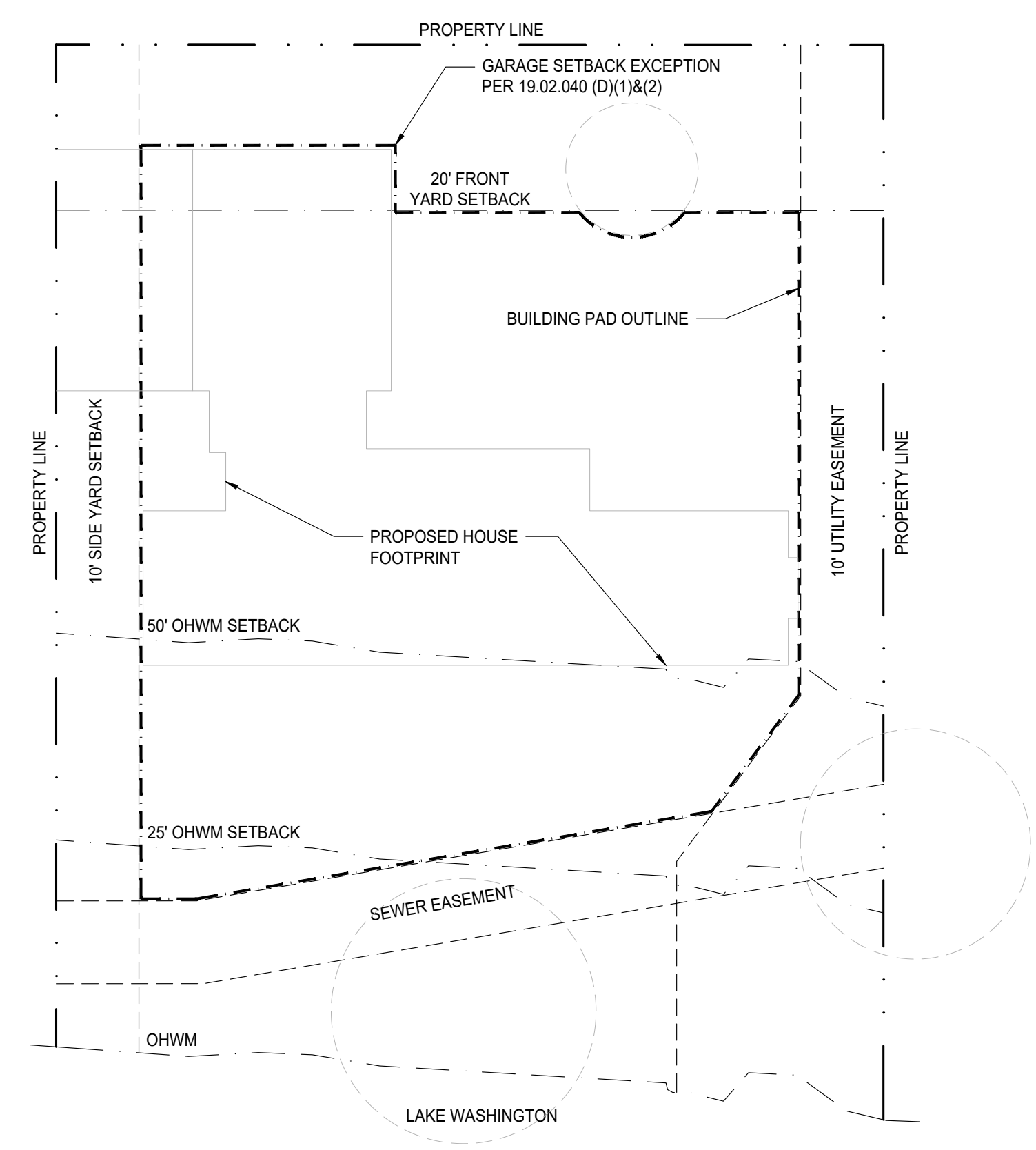
DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	36.99'

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

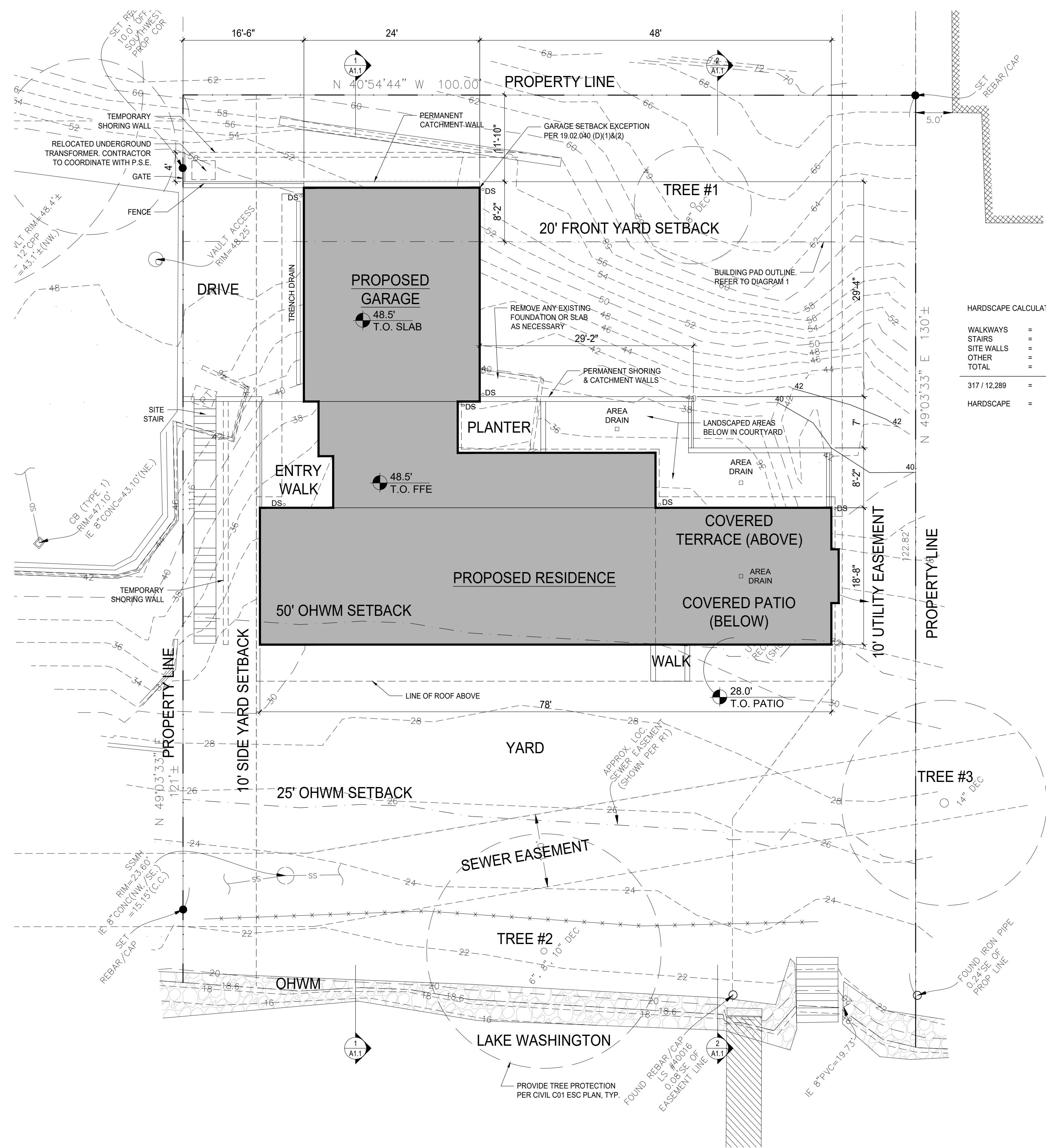
SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,795 ft ²
UPPER LEVEL GROSS	= 1,472 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,740 ft ²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 457 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,638 ft ²

*EXEMPT FROM GFA

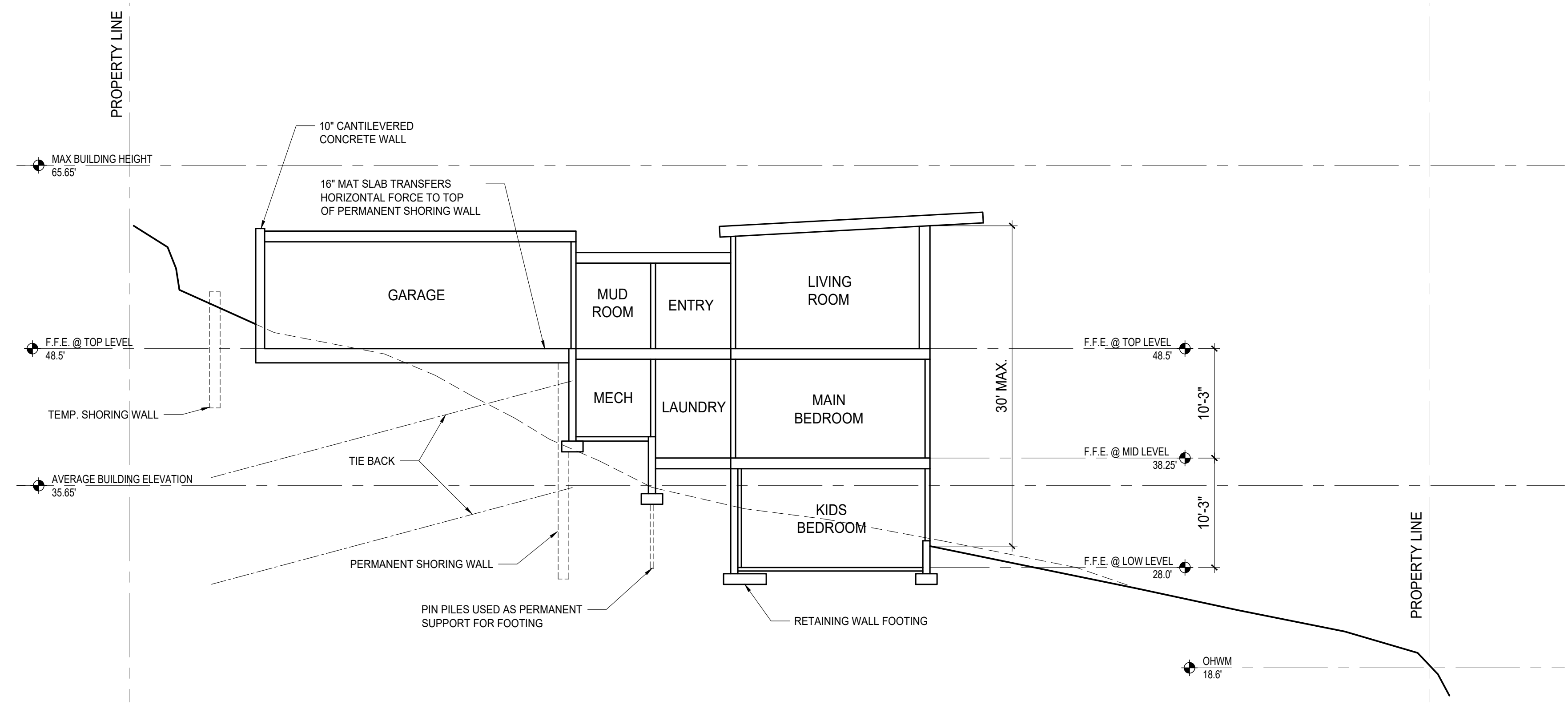
HARDSCAPE CALCULATIONS	
WALKWAYS	= 43sf
STAIRS	= 99sf
SITE WALLS	= 132sf
OTHER	= 50sf
TOTAL	= 324sf
317 / 12,289	= 0.026
HARDSCAPE	= 2.6%



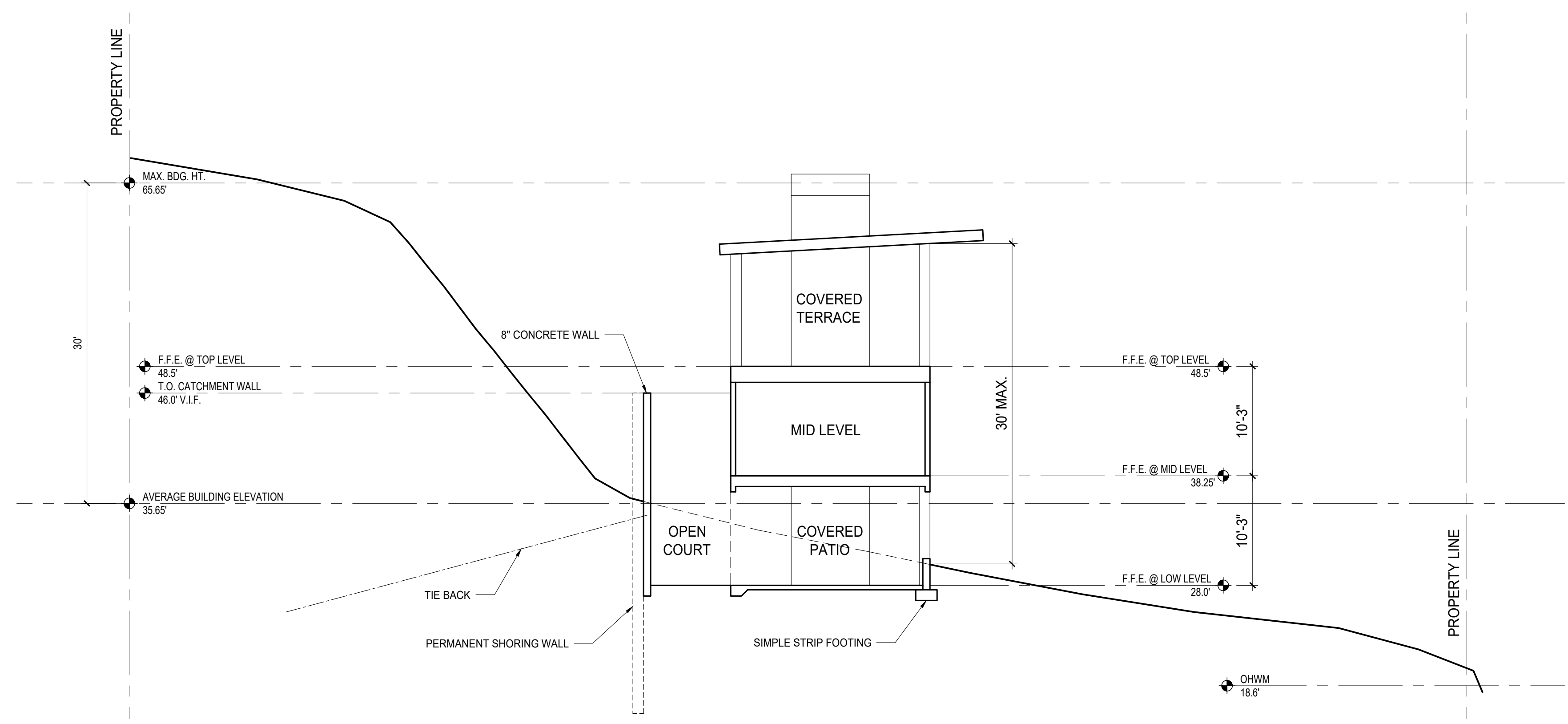
1 BUILDING PAD DIAGRAM
SCALE: 1/16"=1'-0"



2 SITE PLAN
SCALE: 1/8"=1'-0"



1 SITE SECTION
SCALE: 1/8"=1'-0"



2 SITE SECTION
SCALE: 1/8"=1'-0"

DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

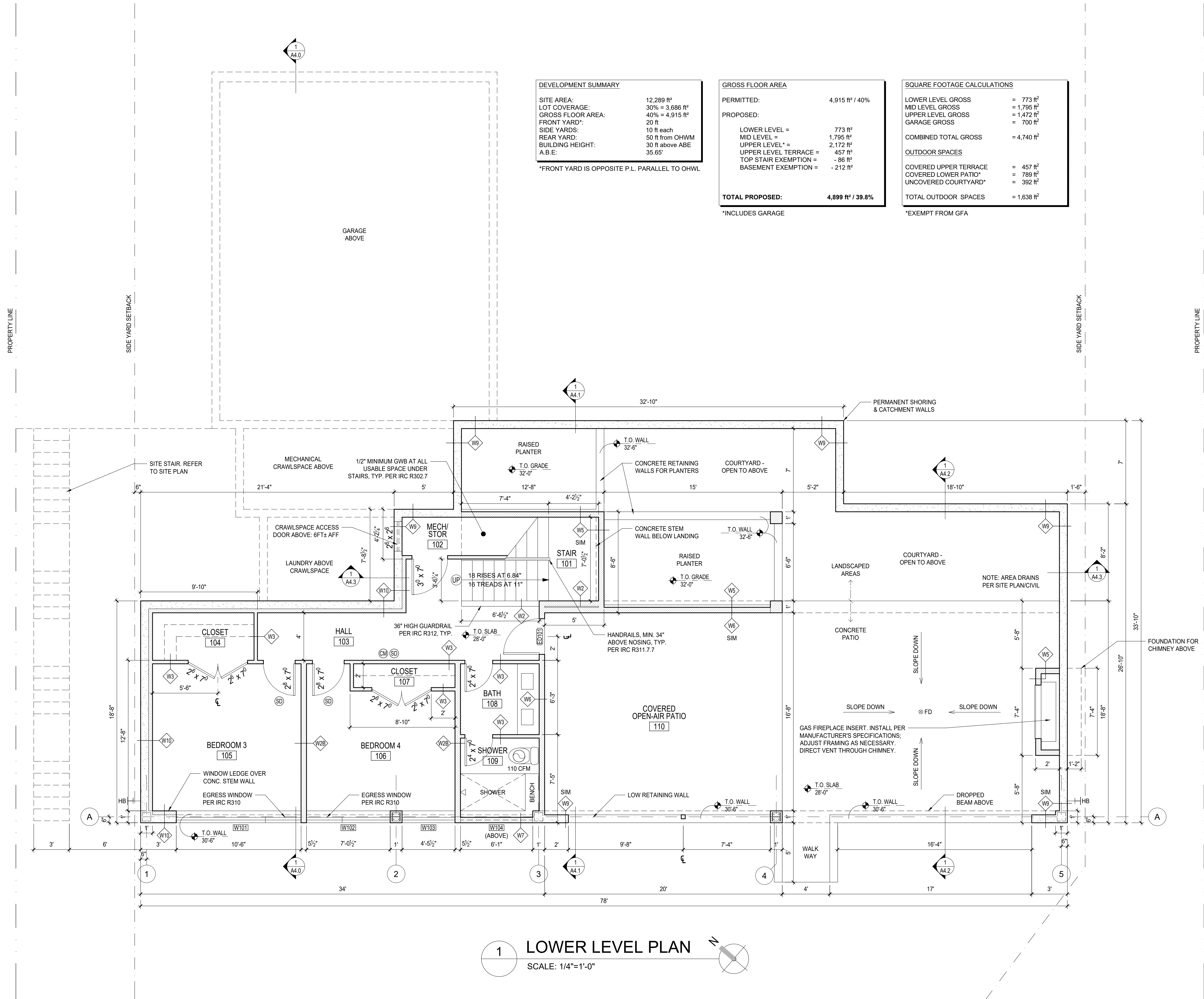
*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA	
PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,795 ft ²
UPPER LEVEL* =	2,172 ft ²
UPPER LEVEL TERRACE =	457 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,899 ft² / 39.8%

*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,795 ft ²
UPPER LEVEL GROSS	= 1,472 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,740 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 457 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,638 ft²

*EXEMPT FROM GFA



1 LOWER LEVEL PLAN
SCALE: 1/4"=1'-0"

DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

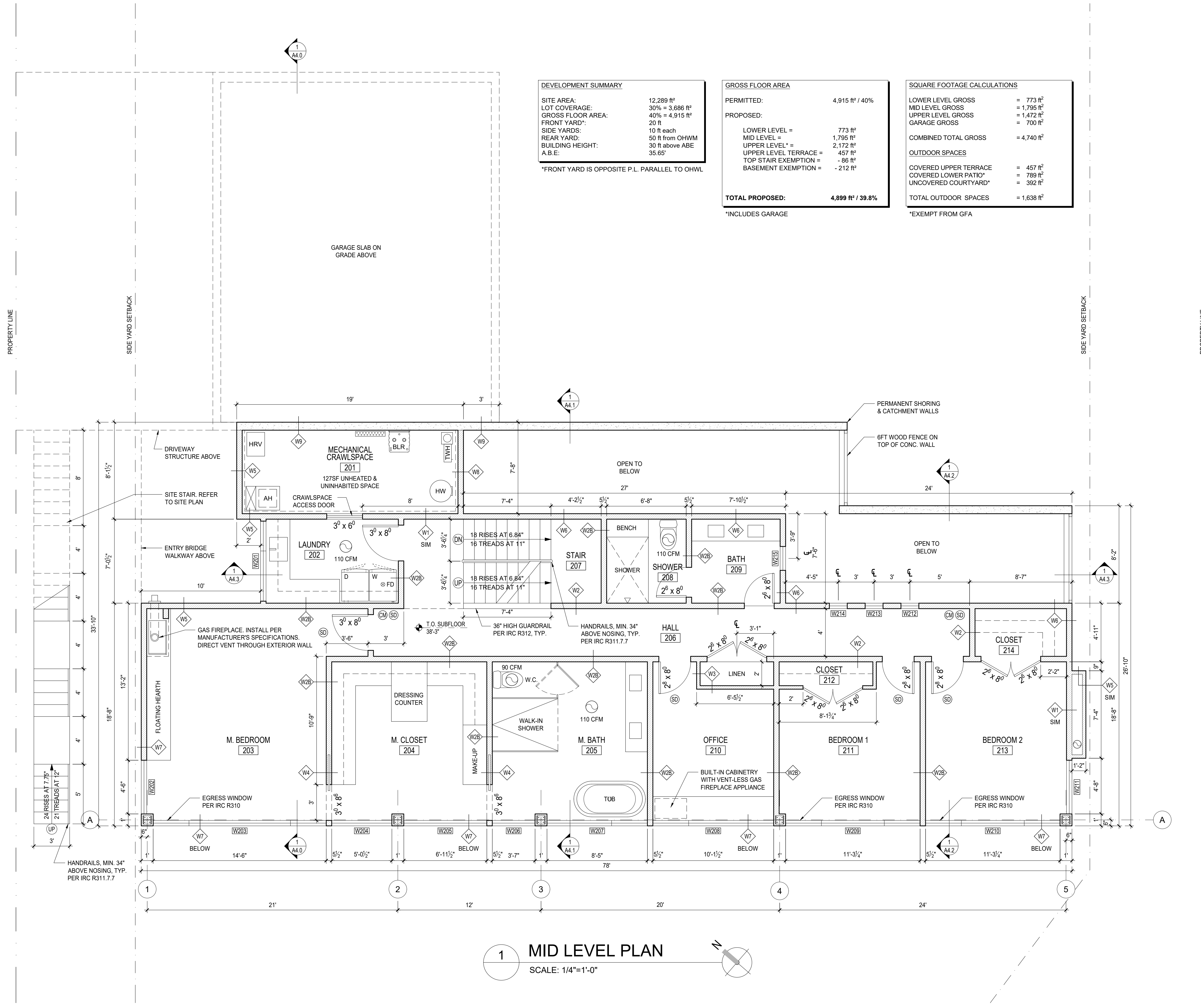
*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA	
PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,795 ft ²
UPPER LEVEL* =	2,172 ft ²
UPPER LEVEL TERRACE =	457 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,899 ft² / 39.8%

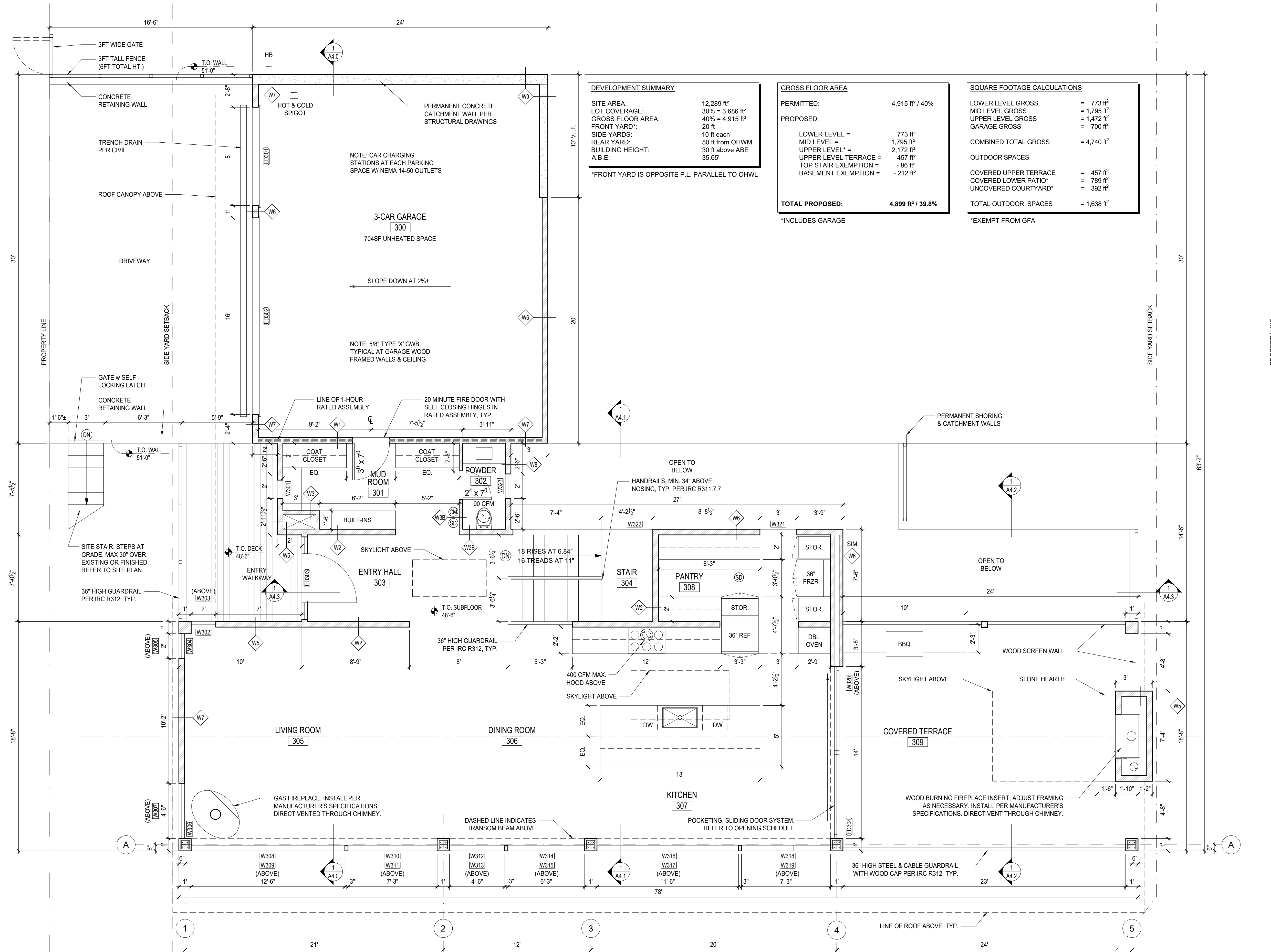
*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,795 ft ²
UPPER LEVEL GROSS	= 1,472 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,740 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 457 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,638 ft²

*EXEMPT FROM GFA



1 MID LEVEL PLAN
SCALE: 1/4"=1'-0"



DEVELOPMENT SUMMARY

SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA

PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,795 ft ²
UPPER LEVEL* =	2,172 ft ²
UPPER LEVEL TERRACE =	457 ft ²
TOP STAIR EXEMPTION =	- 86 ft ²
BASEMENT EXEMPTION =	- 212 ft ²
TOTAL PROPOSED:	4,899 ft² / 39.8%

*INCLUDES GARAGE

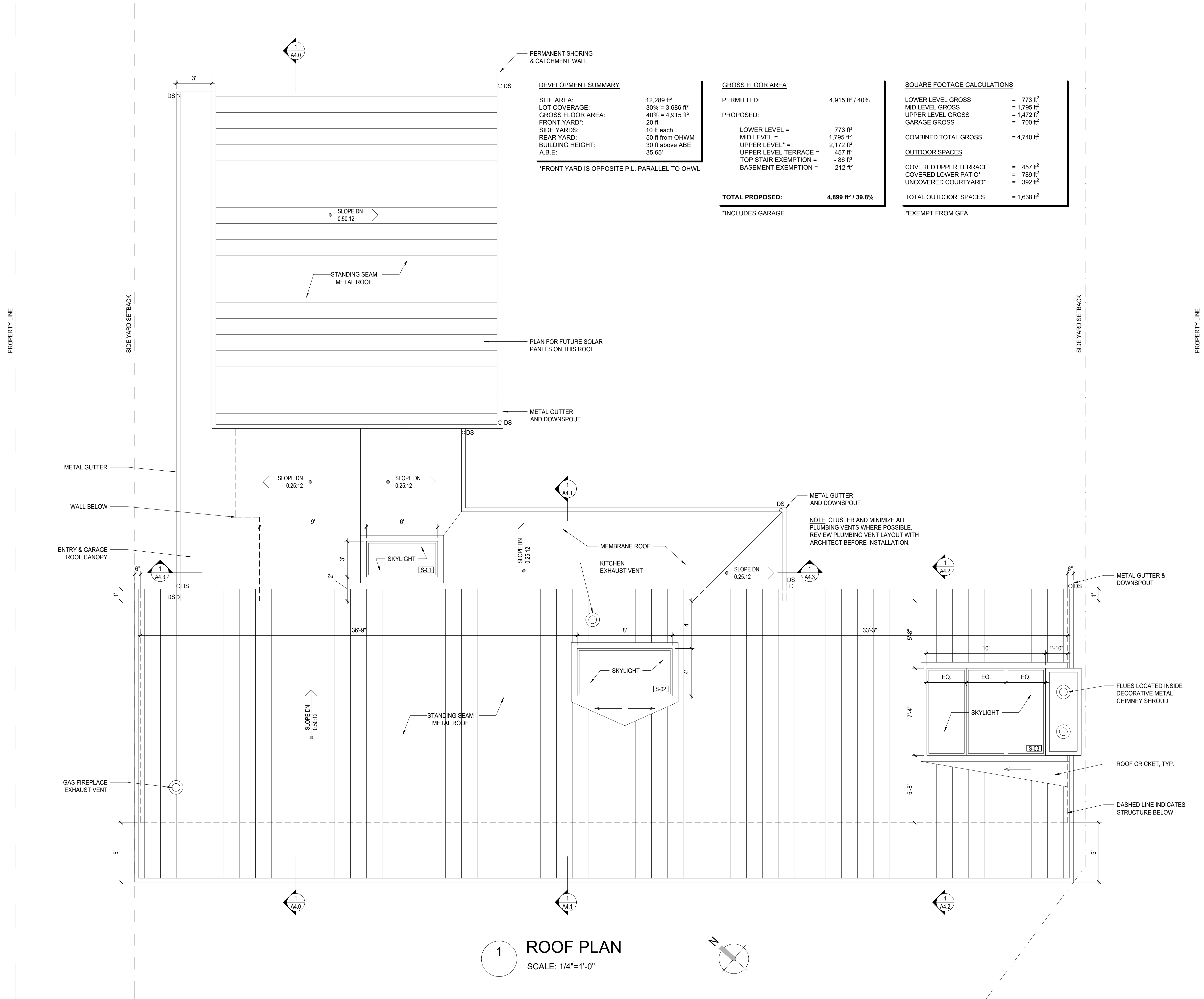
SQUARE FOOTAGE CALCULATIONS

LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,795 ft ²
UPPER LEVEL GROSS	= 1,472 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,740 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 457 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,638 ft²

*EXEMPT FROM GFA

1 UPPER LEVEL PLAN
SCALE: 1/4"=1'-0"

A2.3



DEVELOPMENT SUMMARY

SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA

PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,795 ft ²
UPPER LEVEL* =	2,172 ft ²
UPPER LEVEL TERRACE =	457 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,899 ft² / 39.8%

*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS

LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,795 ft ²
UPPER LEVEL GROSS	= 1,472 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,740 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 457 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,638 ft²

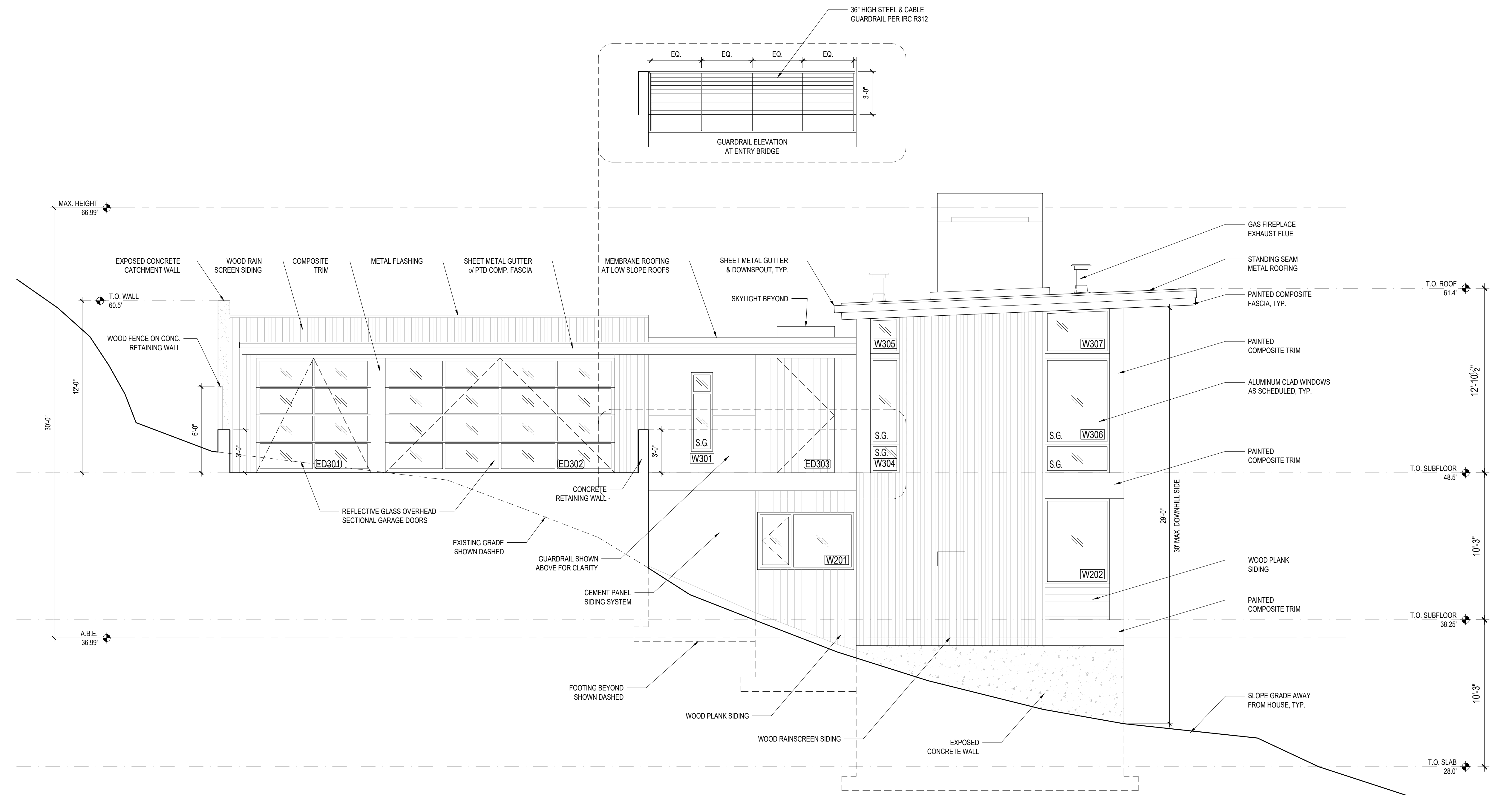
*EXEMPT FROM GFA

1 ROOF PLAN
SCALE: 1/4"=1'-0"

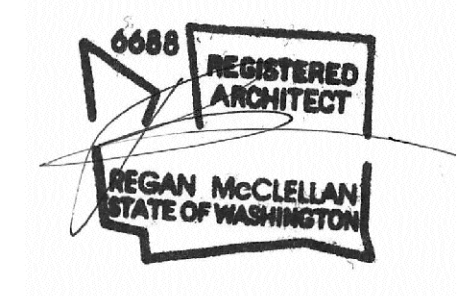
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

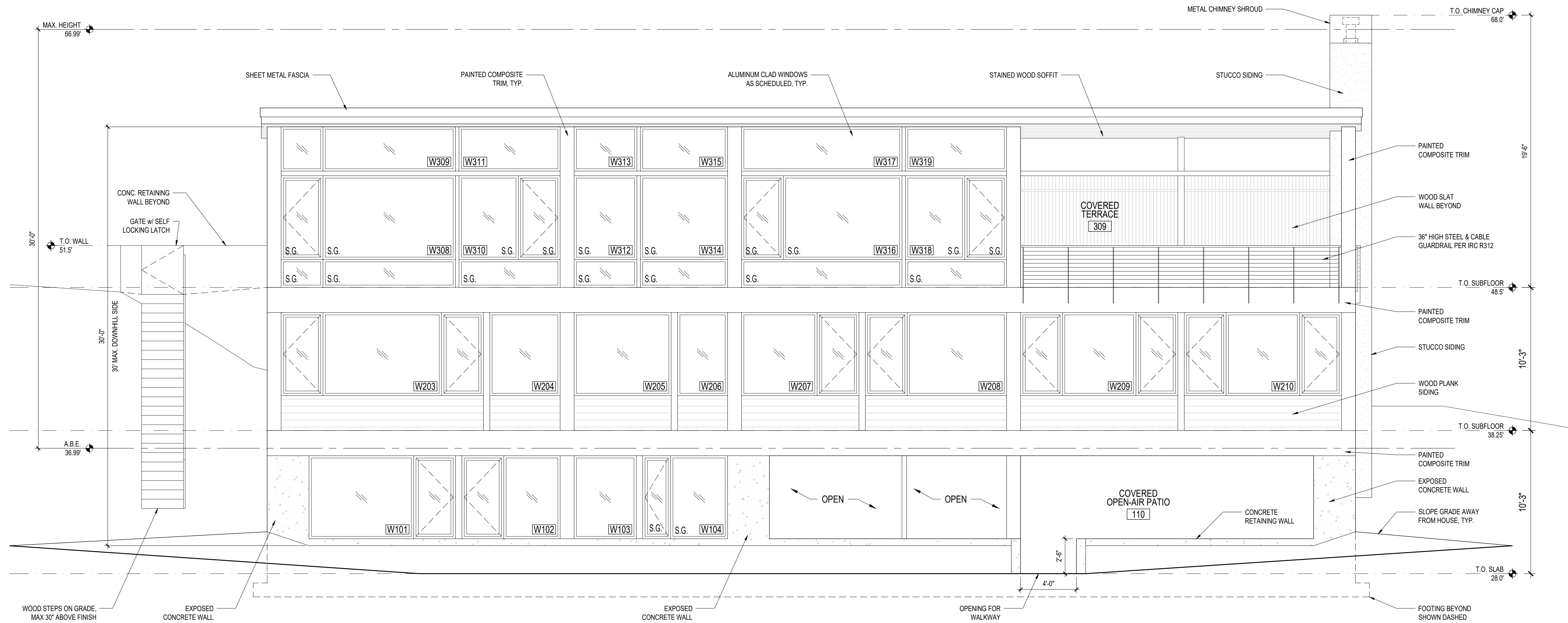
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A3.0

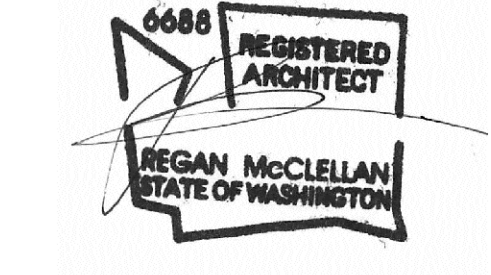
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

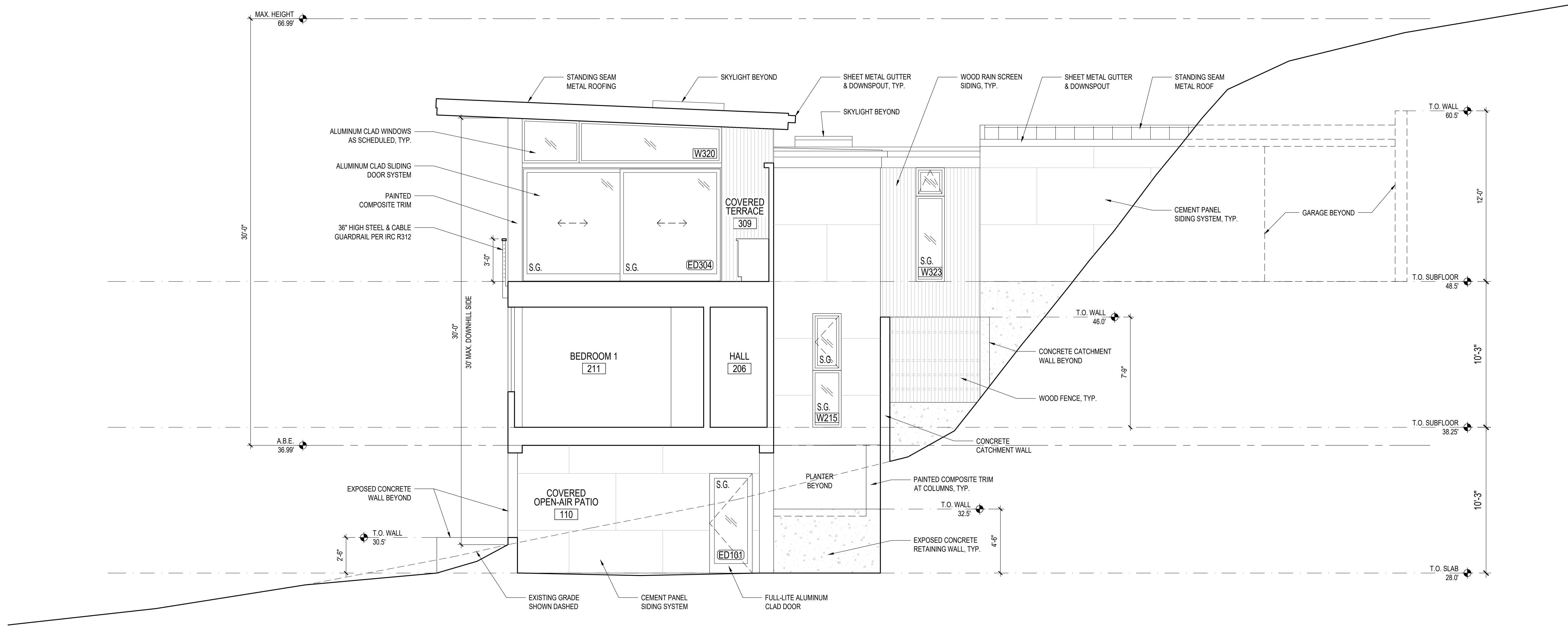
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A3.1

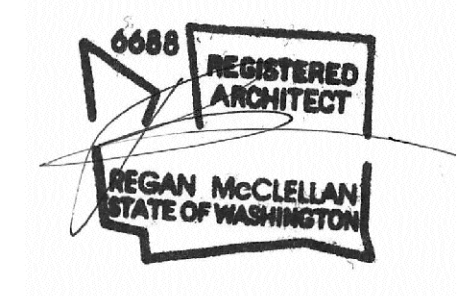
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 SOUTH CUTAWAY ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

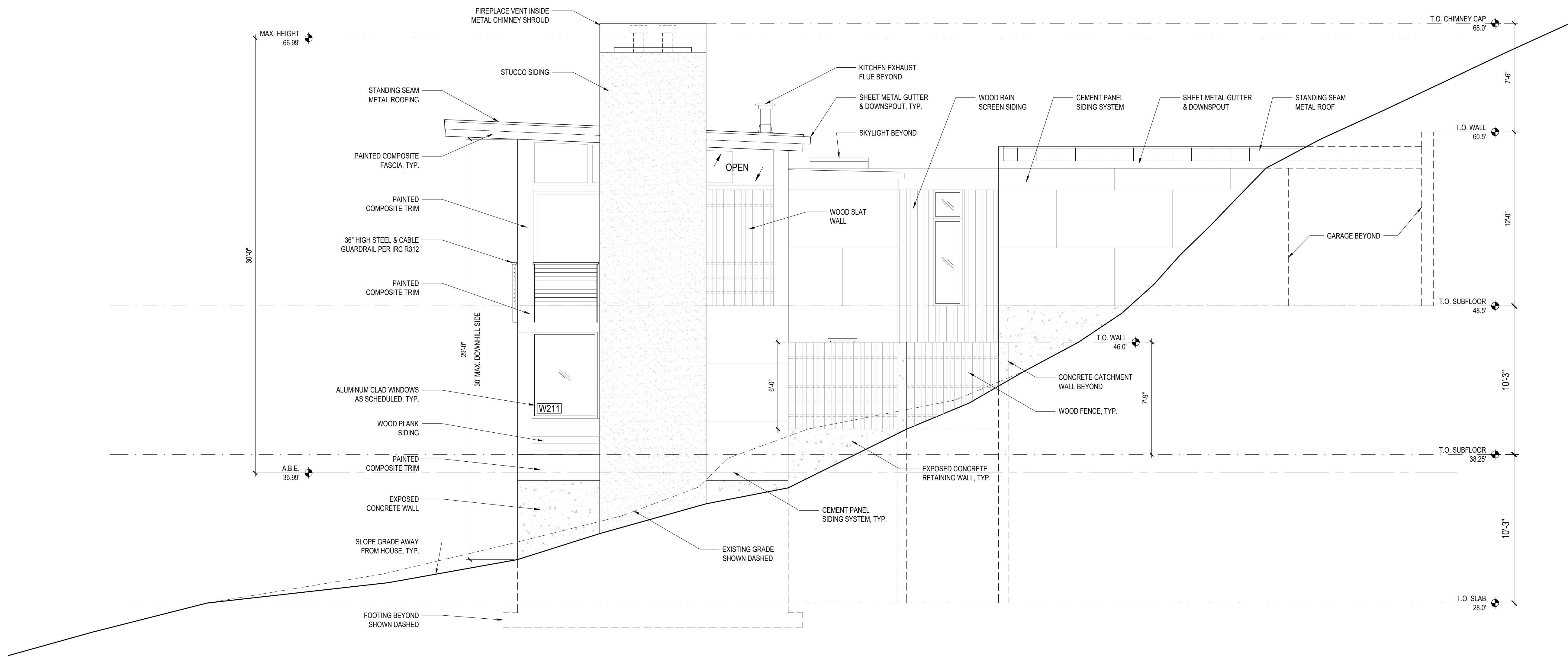
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A3.2

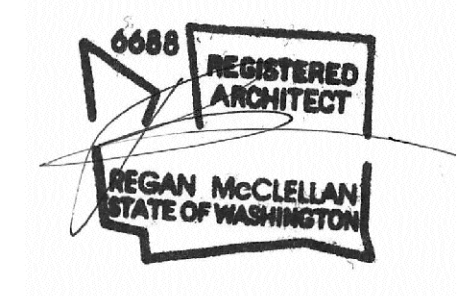
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

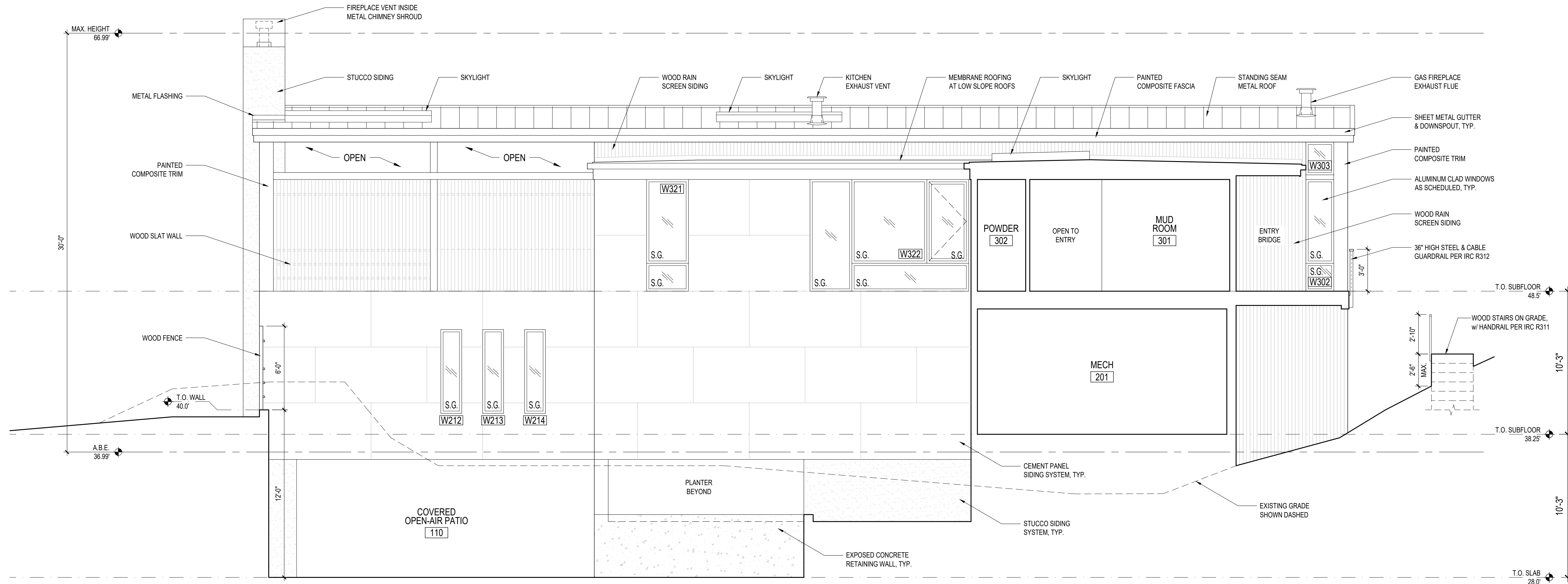
SHEET:

A3.3

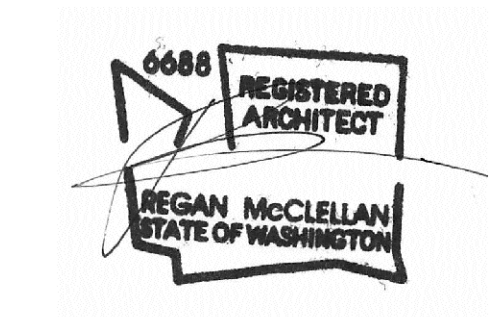
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 EAST ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

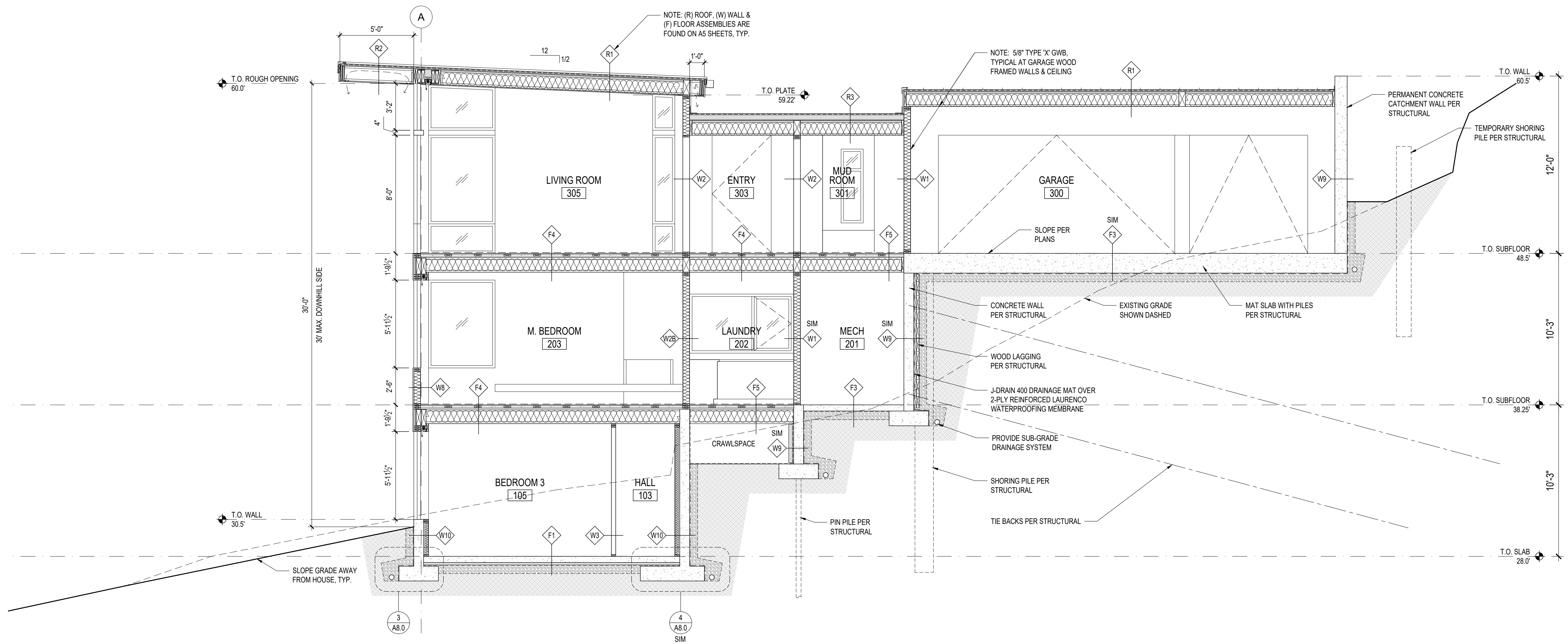
SHEET:

A3.4

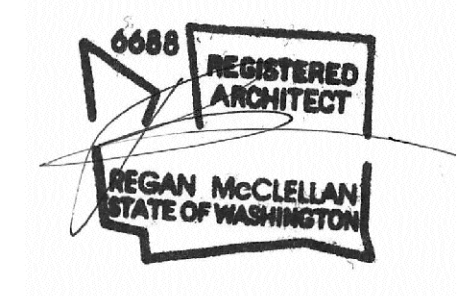
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

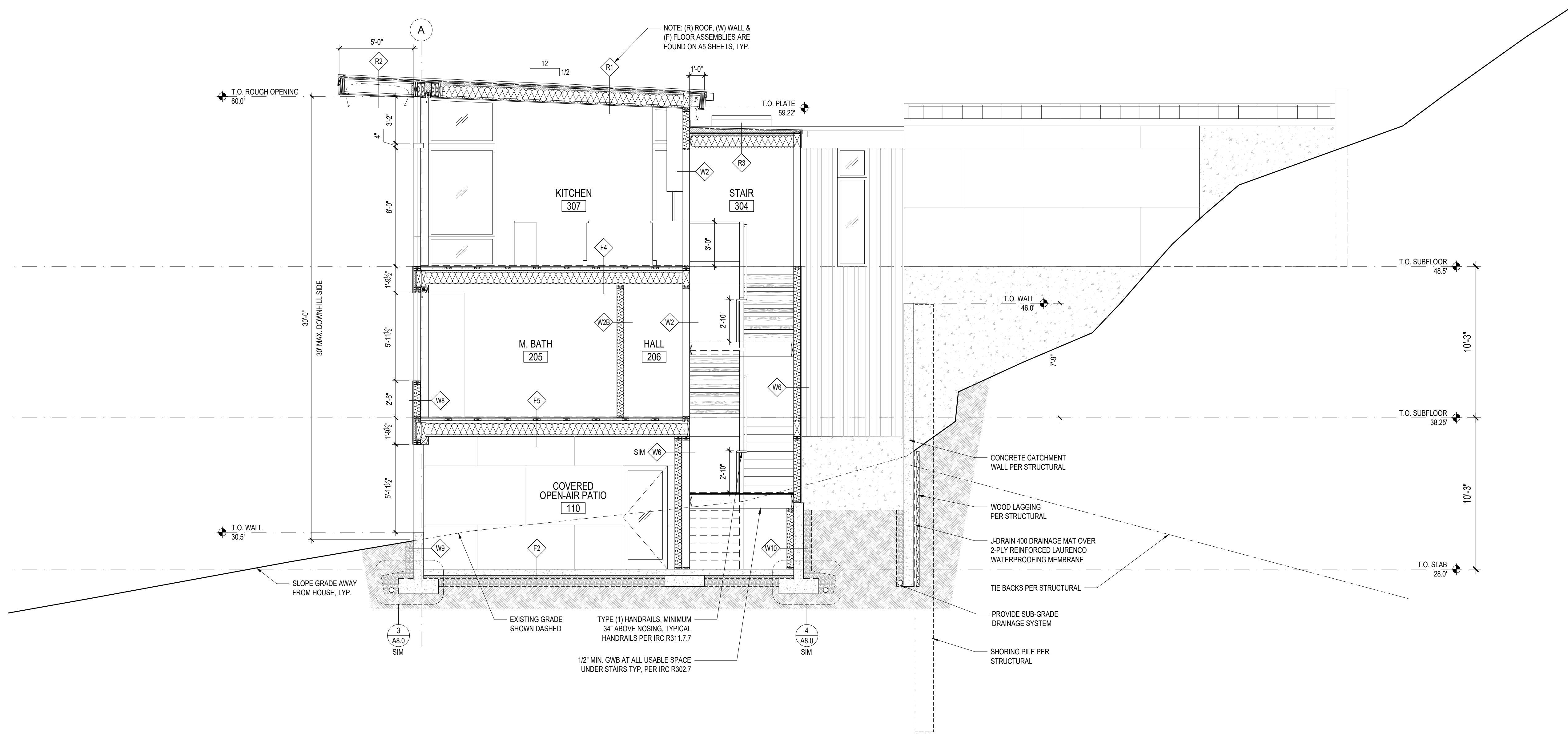


DATE:
FEBRUARY 25, 2022

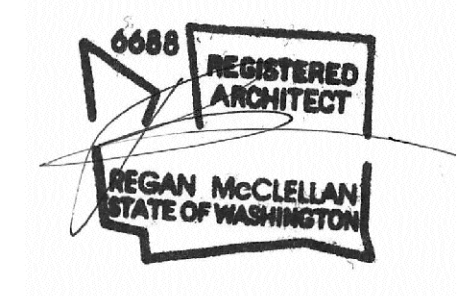
SHEET TITLE:
BUILDING SECTIONS

SHEET:

A4.0



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

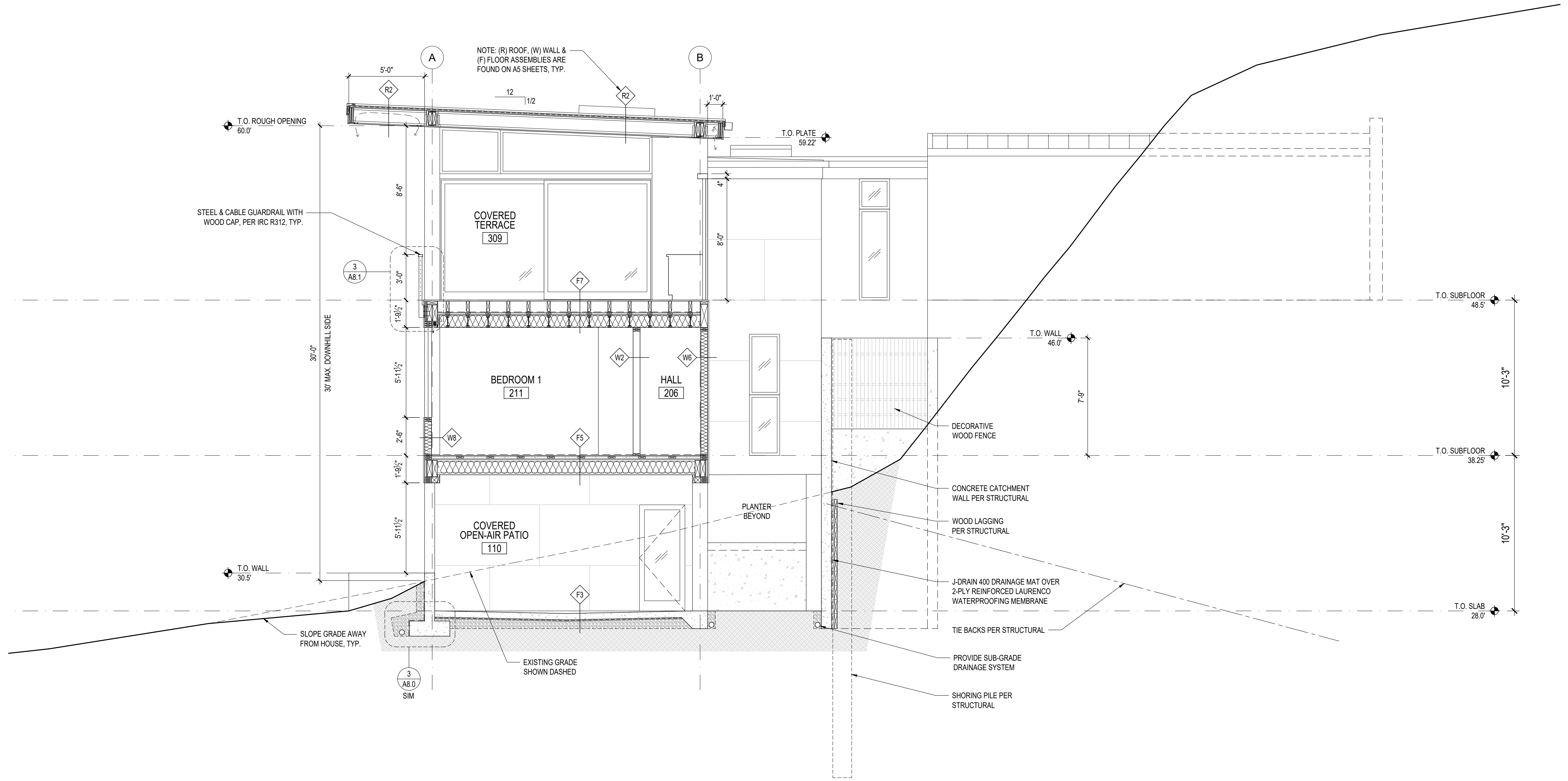


DATE:
FEBRUARY 25, 2022

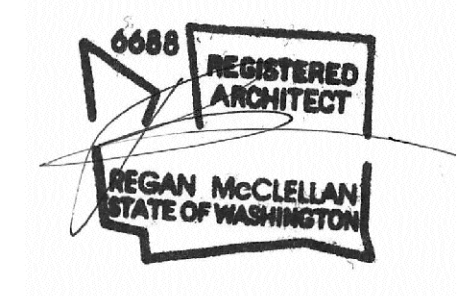
SHEET TITLE:
BUILDING SECTIONS

SHEET:

A4.1



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

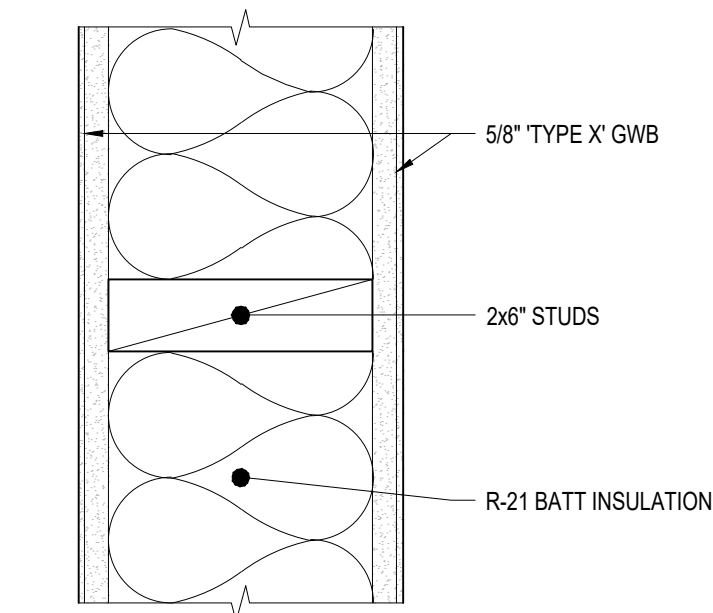


DATE:
FEBRUARY 25, 2022

SHEET TITLE:
BUILDING SECTIONS

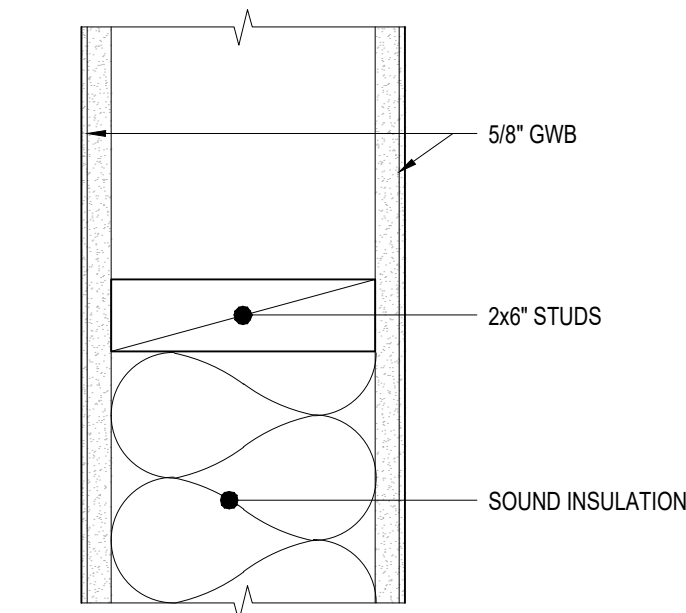
SHEET:

A4.2



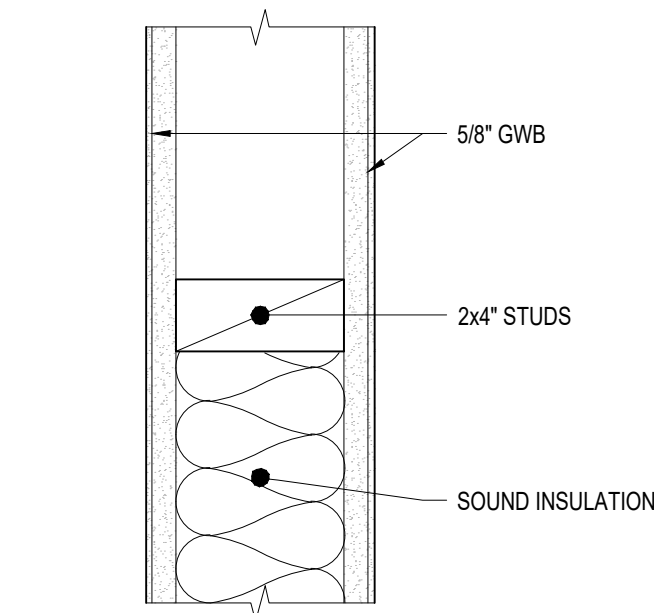
W1
WALL ASSEMBLY:
2x6 1-HOUR INT. WALL - DRYWALL

1 INTERIOR WALL ASSEMBLY - W1
3" = 1'-0"



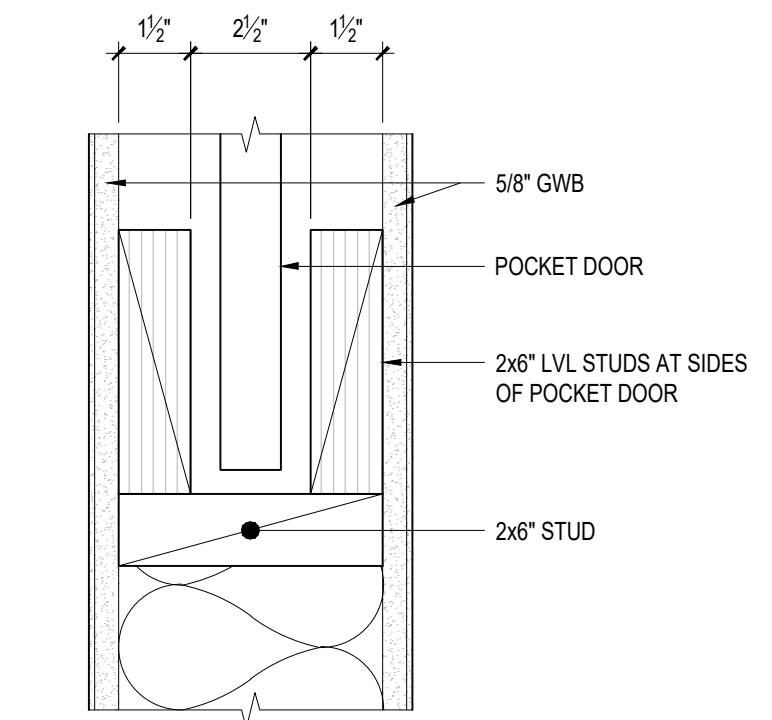
W2
WALL ASSEMBLY:
2x6 INT. WALL - DRYWALL
W2B
WALL ASSEMBLY:
2x6 INT. WALL - DRYWALL w/ SOUND INSULATION

2 INTERIOR WALL ASSEMBLY - W2
3" = 1'-0"



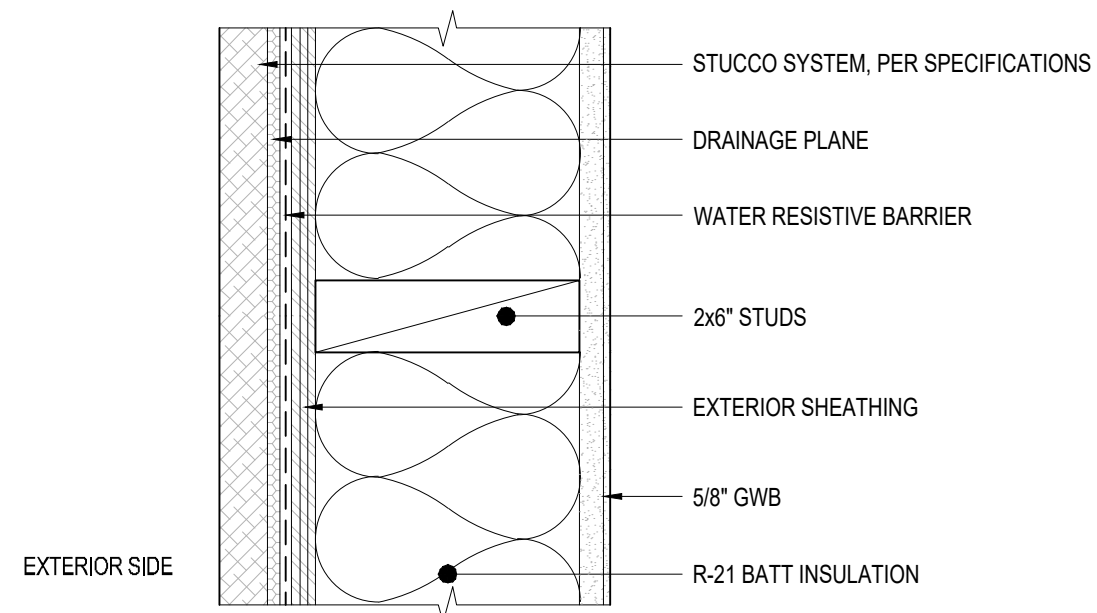
W3
WALL ASSEMBLY:
2x4 INT. WALL - DRYWALL
W3B
WALL ASSEMBLY:
2x4 INT. WALL - DRYWALL w/ SOUND INSULATION

3 INTERIOR WALL ASSEMBLY - W3
3" = 1'-0"



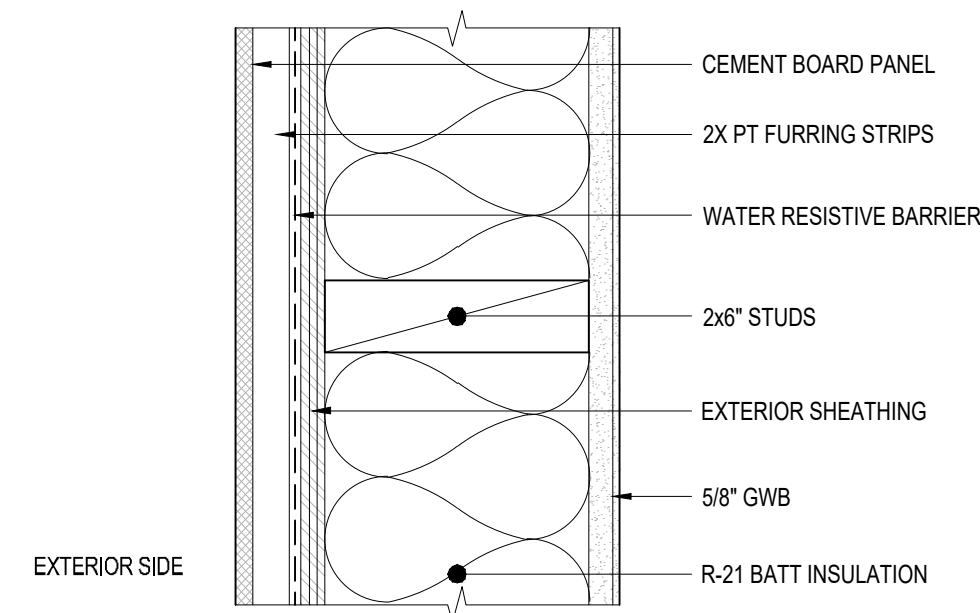
W4
WALL ASSEMBLY:
2x6 INT. DOUBLE STUD WALL AT DOOR POCKETS - DRYWALL

4 INTERIOR WALL ASSEMBLY - W4
3" = 1'-0"



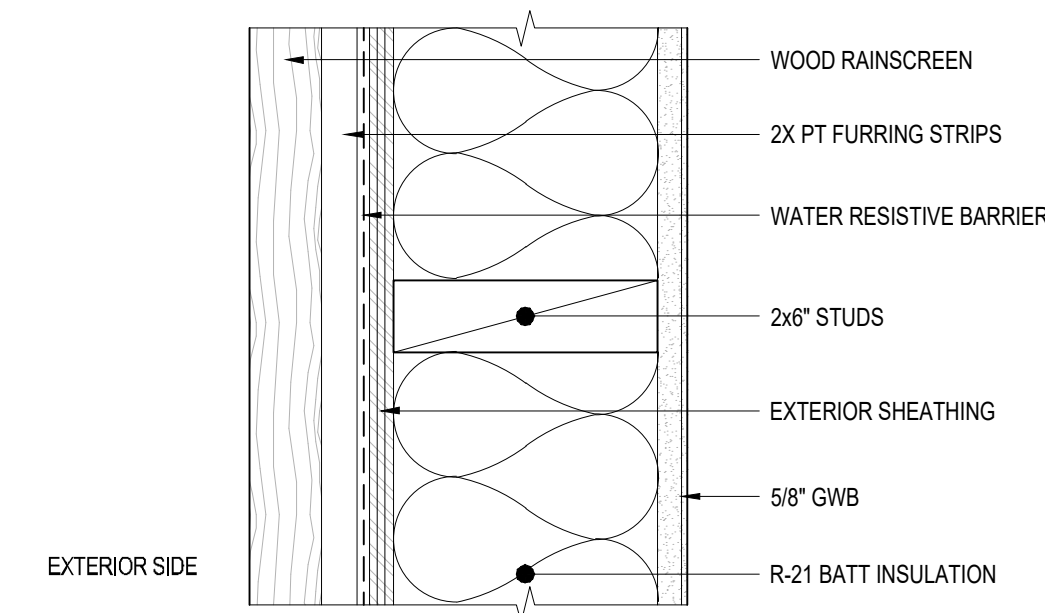
W5
WALL ASSEMBLY:
2x6 EXT. WALL - STUCCO w/ INSULATION

5 EXTERIOR WALL ASSEMBLY - W5
3" = 1'-0"



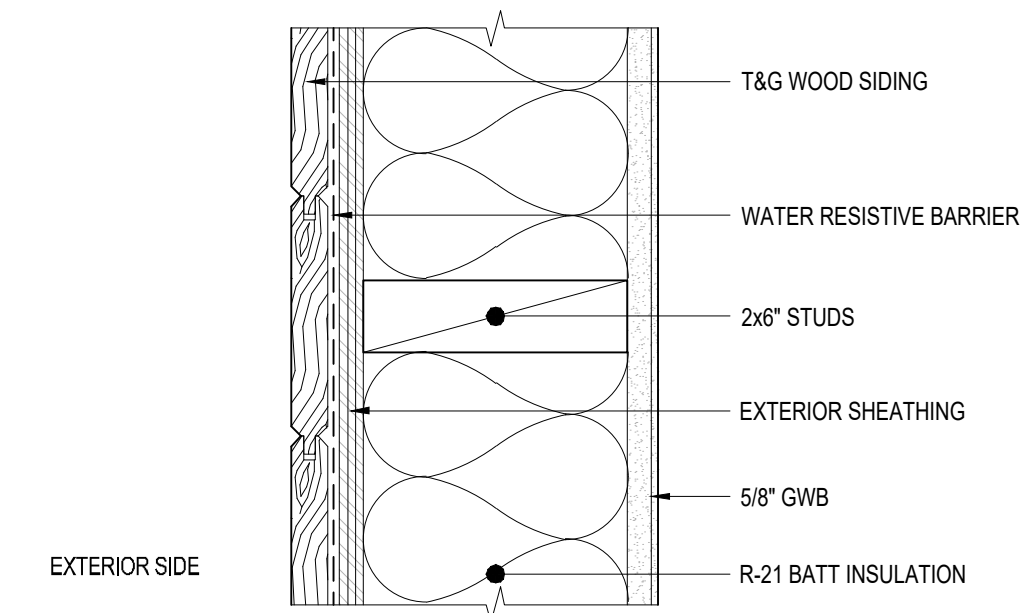
W6
WALL ASSEMBLY:
2x6 EXT. WALL - CEMENT BOARD PANEL w/ INSULATION

6 EXTERIOR WALL ASSEMBLY - W6
3" = 1'-0"



W7
WALL ASSEMBLY:
2x6 EXT. WALL - WOOD RAINSCREEN w/ INSULATION

7 EXTERIOR WALL ASSEMBLY - W7
3" = 1'-0"



W8
WALL ASSEMBLY:
2x6 EXT. WALL - WOOD SIDING w/ INSULATION

8 EXTERIOR WALL ASSEMBLY - W8
3" = 1'-0"

STUCCO SYSTEM SPECIFICATION:

- 1) INSTALL STUCCO PER IRC SECTION R703.6
- 2) PROVIDE HOME SLICKER STUCCO DRAINAGE MAT OVER THE VAPOR BARRIER
- 3) PROVIDE CORROSION RESISTANT METAL LATHE
- 4) PROVIDE MIN 1/2" CEMENTITIOUS SCRATCH COAT
- 5) PROVIDE MIN 3/8" CEMENTITIOUS BROWN COAT
- 6) PROVIDE MIN 1/8" ACRYLIC DRYVIT FINISH COAT
- 7) PROVIDE NO. 26 GAGE PLASTIC WEEP SCREED W/ MIN VERTICAL ATTACHMENT FLANGE OF 3-1/2". PLACE A MINIMUM OF 4" ABOVE GRADE. THE SCREED SHALL ALLOW DRAINAGE TO THE EXTERIOR. THE WEATHER RESISTIVE BARRIER AND LATHE SHALL COVER AND TERMINATE AT THE ATTACHMENT FLANGE OF THE WEEP SCREED.

WATER RESISTIVE BARRIER SPECIFICATION

- 1) TAMYLN WRAP DRAINABLE HOUSEWRAP, WATER RESISTIVE VAPOR PERMEABLE AIR BARRIER

BELOW GRADE WATERPROOFING SPECIFICATION

- 1) PROVIDE AND INSTALL CETCO VOLTEX DS TO BELOW GRADE WALLS FOLLOWED BY A COURSE OF DRAINAGE COMPOSITE AQUADRAIN SHEET DRAINAGE

SINGLE MEMBRANE ROOFING SPECIFICATION

- 1) VERSICO VERSIWELD TPO, 80 MIL, FULLY ADHERED ROOFING

STANDING SEAM METAL ROOFING SPECIFICATION

- 1) NU-RAY METALS METAL ROOF - SERIES NRM-2000, 16" WIDE, FLAT PAN, 24 GAUGE, FLAT PANEL, VINTAGE

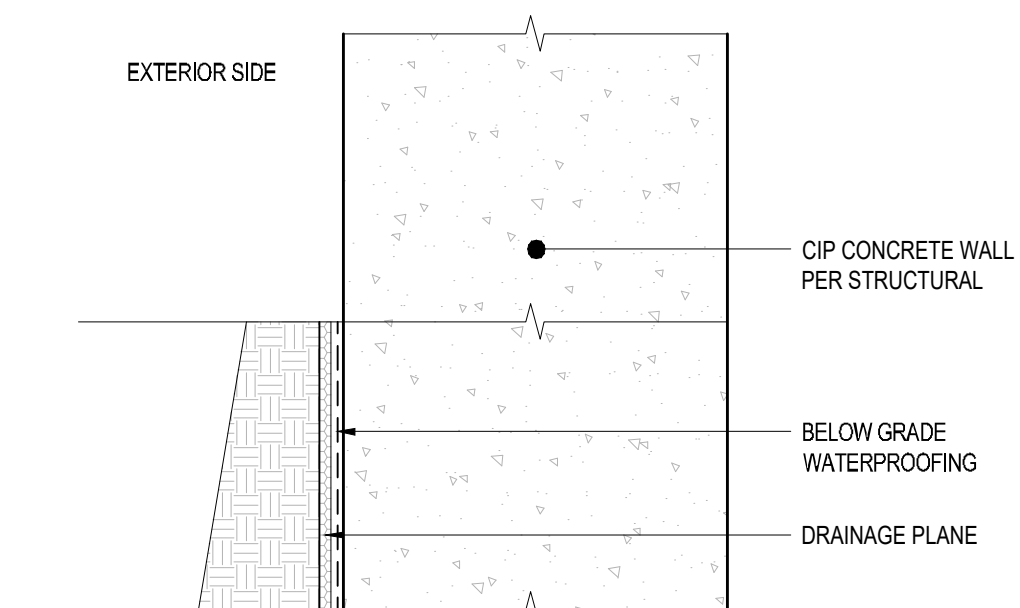
9 PROJECT SPECIFICATIONS
3" = 1'-0"

INSULATION INSTALLATION REQUIREMENTS

- 1) THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE
- 2) NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY
- 3) ANY AIR-IMPERMEABLE INSULATION SHALL BE A VAPOR RETARDER COATING, OR SHALL HAVE A VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION
- 4) AIR IMPERABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT TO THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING

SPRAY FOAM INSULATION WITH NO VENTILATION SPECIFICATION

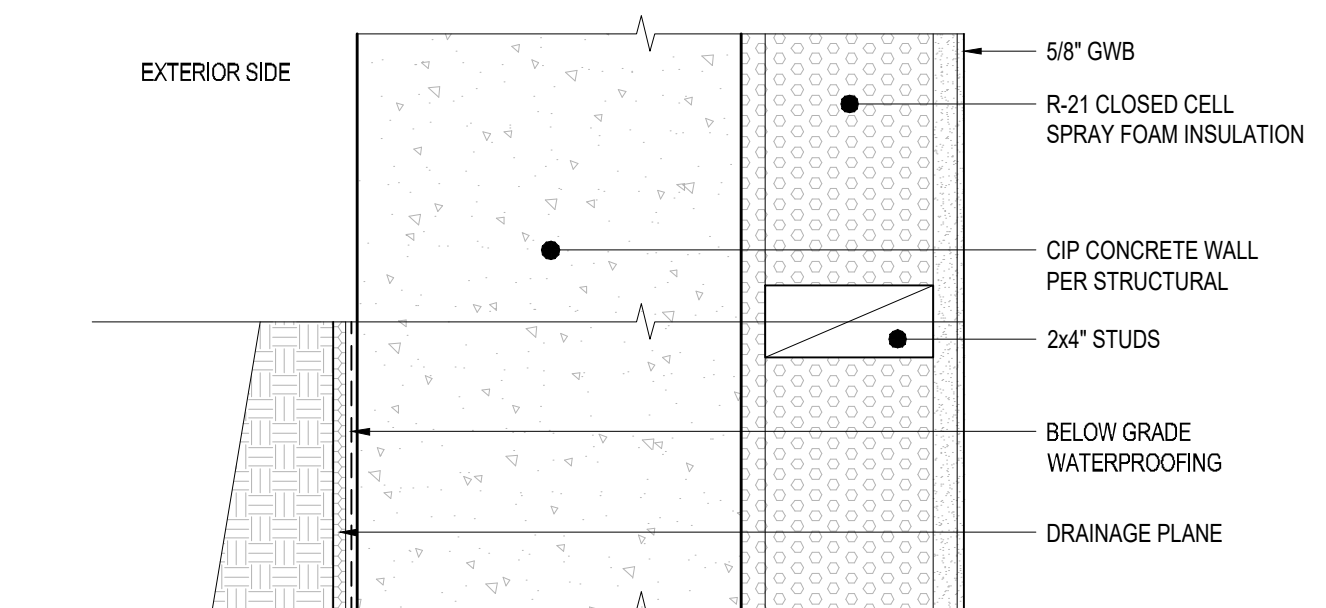
- 1) PRODUCT: SPRAY-APPLIED POLYURETHANE FOAM INSULATION
- 2) ICC-ES EVALUATION REPORT # ESR-3210
- 3) INSULATION MUST BE APPLIED BY CERTIFIED INSTALLERS. A COPY OF THE INSTALLERS CERTIFICATION MUST BE ON SITE FOR FIELD INSPECTOR VERIFICATION.



W9
WALL ASSEMBLY (ABOVE GRADE):
CONCRETE WALL - EXT. BOARD FORM CONCRETE FINISH

W9B
WALL ASSEMBLY (BELOW GRADE):
CONCRETE RETAINING WALL EXPOSED

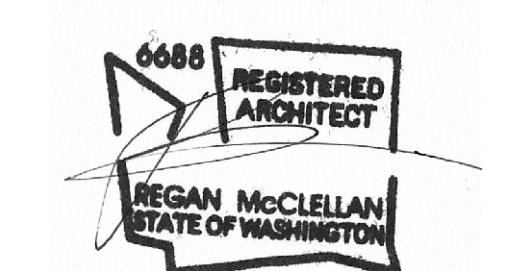
11 EXTERIOR WALL ASSEMBLY - W9
3" = 1'-0"



W10
WALL ASSEMBLY (ABOVE GRADE):
CONCRETE WALL - EXT. BOARD FORM CONCRETE FINISH
w INT. 2x4 STUD FURRING & INSUL.

W10B
WALL ASSEMBLY (BELOW GRADE):
CONCRETE RETAINING WALL - INT. 2x4 STUD FURRING & INSUL.

12 EXTERIOR WALL ASSEMBLY - W10
3" = 1'-0"



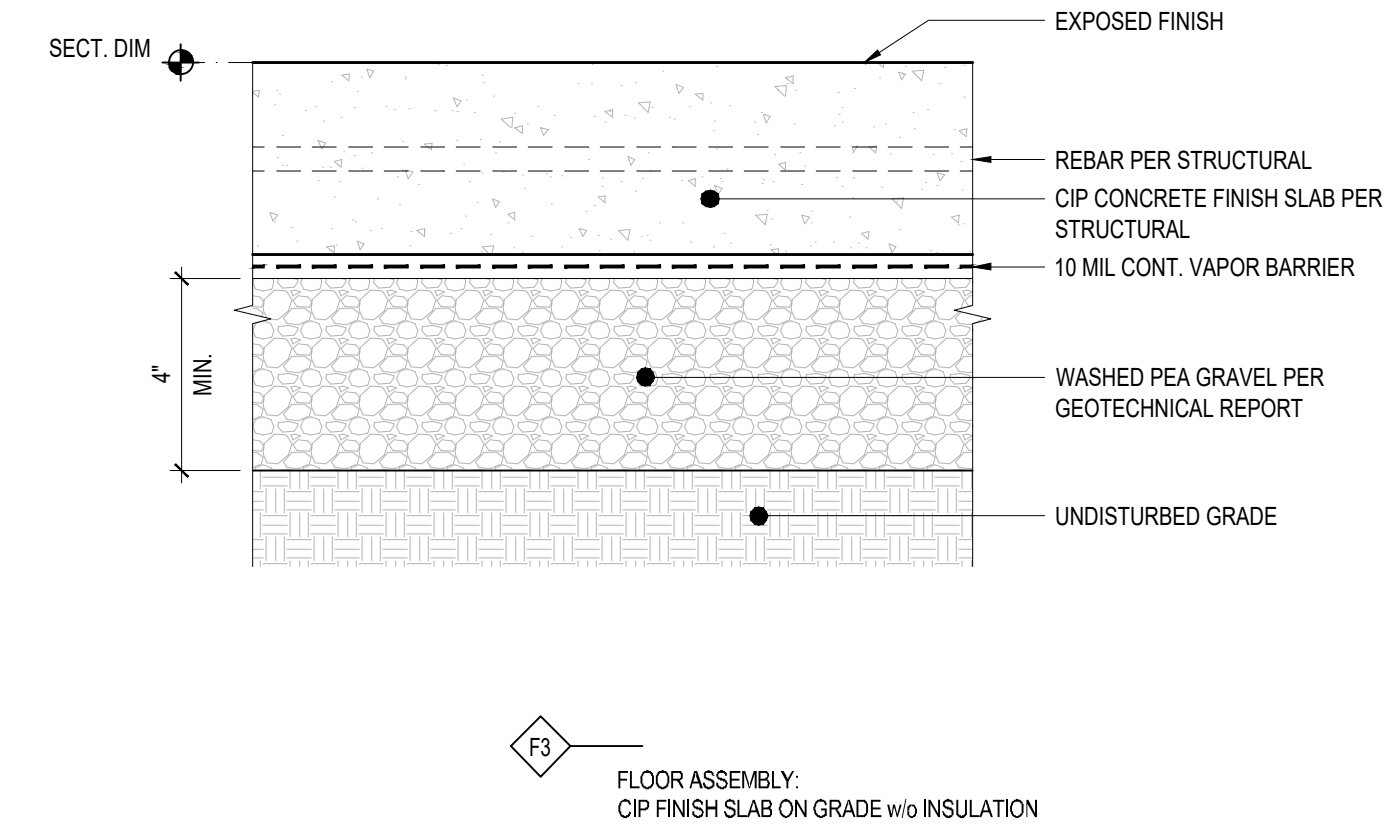
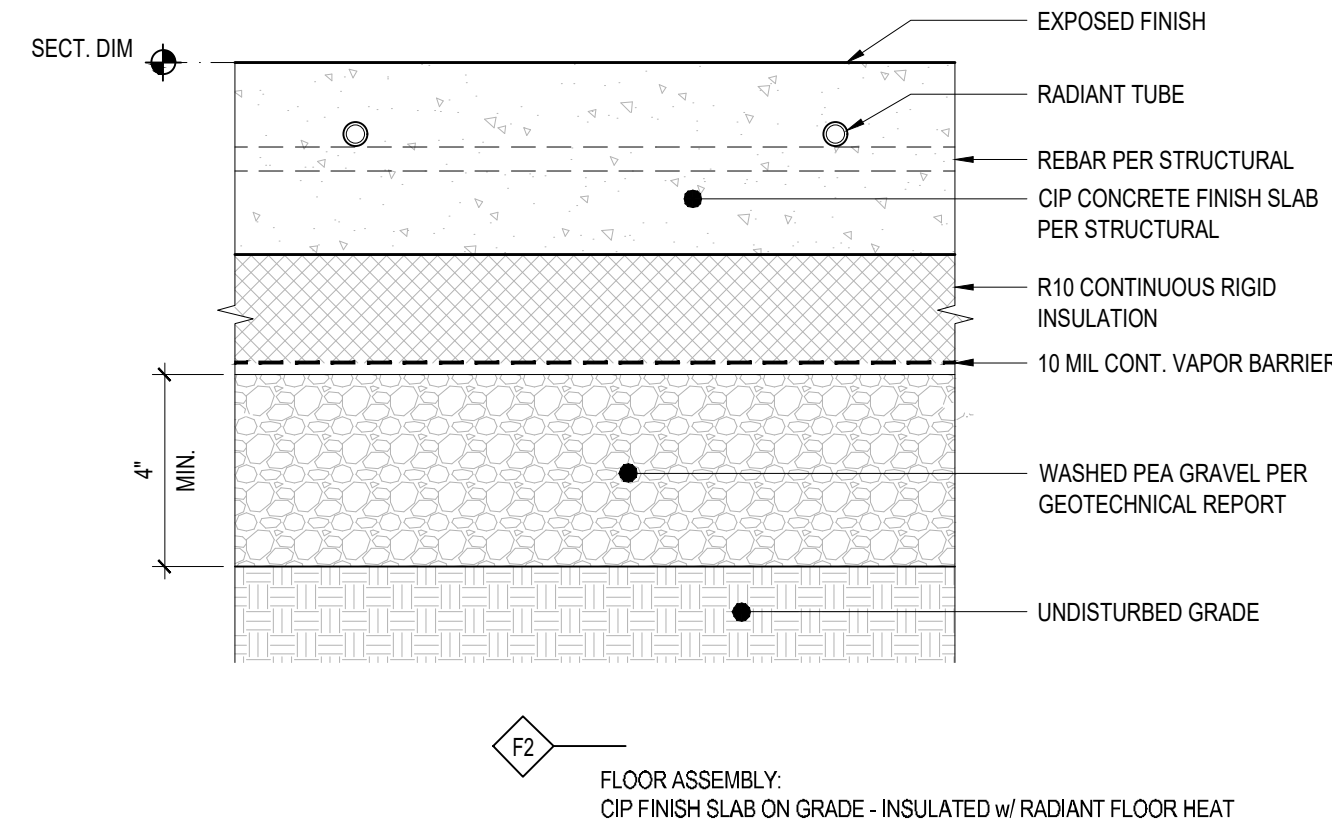
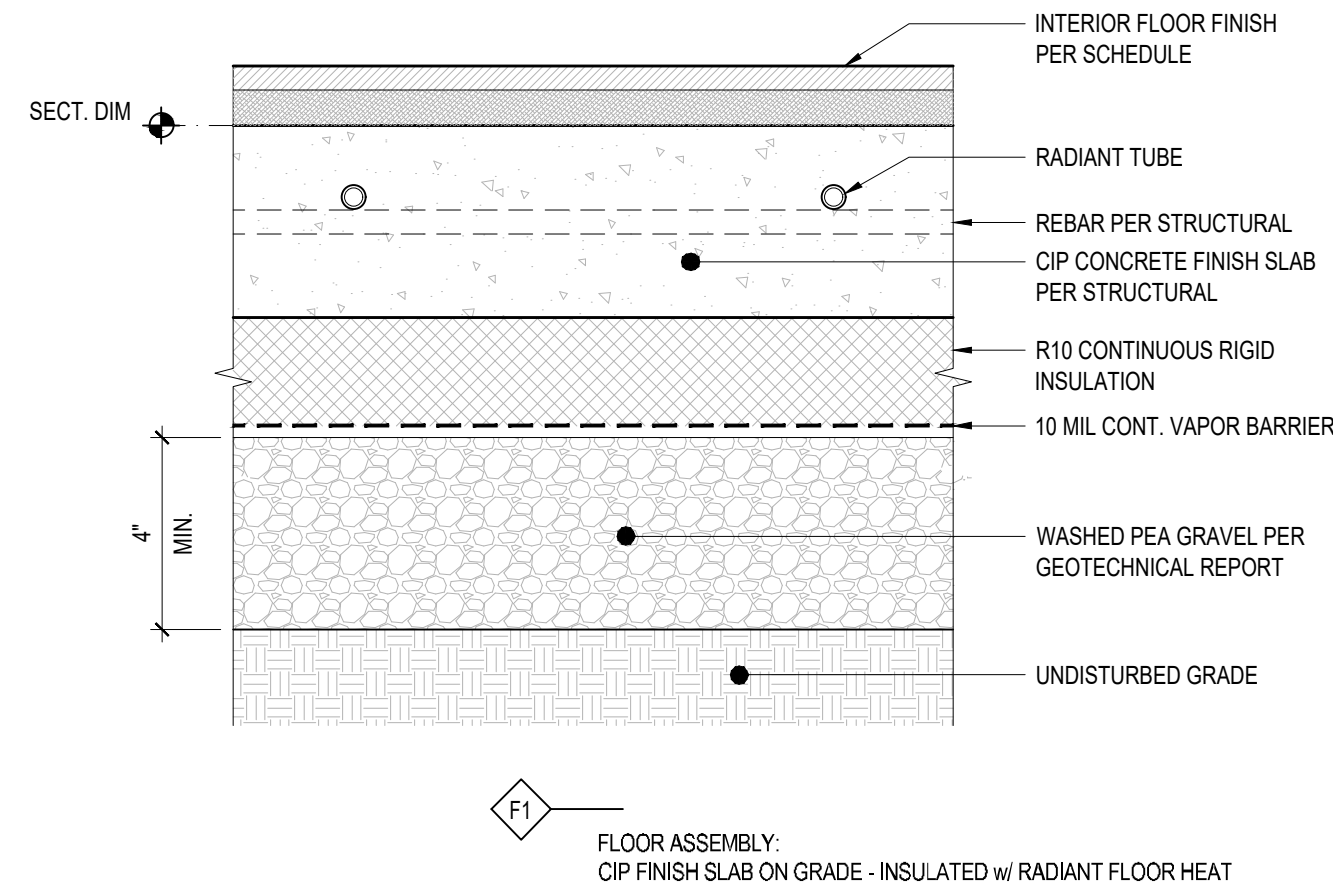
DATE:
FEBRUARY 25, 2022

SHEET TITLE:

WALL ASSEMBLIES

SHEET:

A5.0

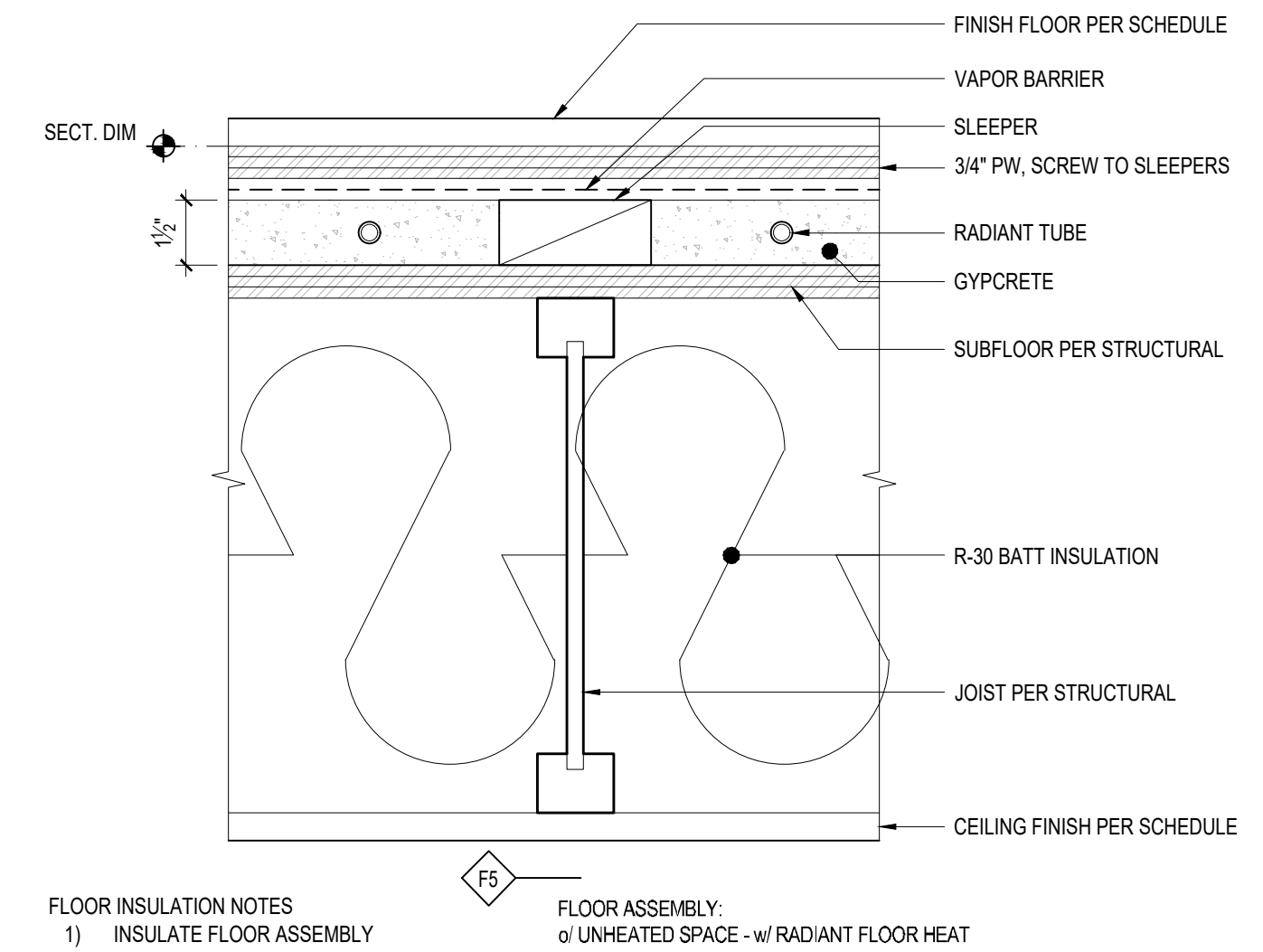
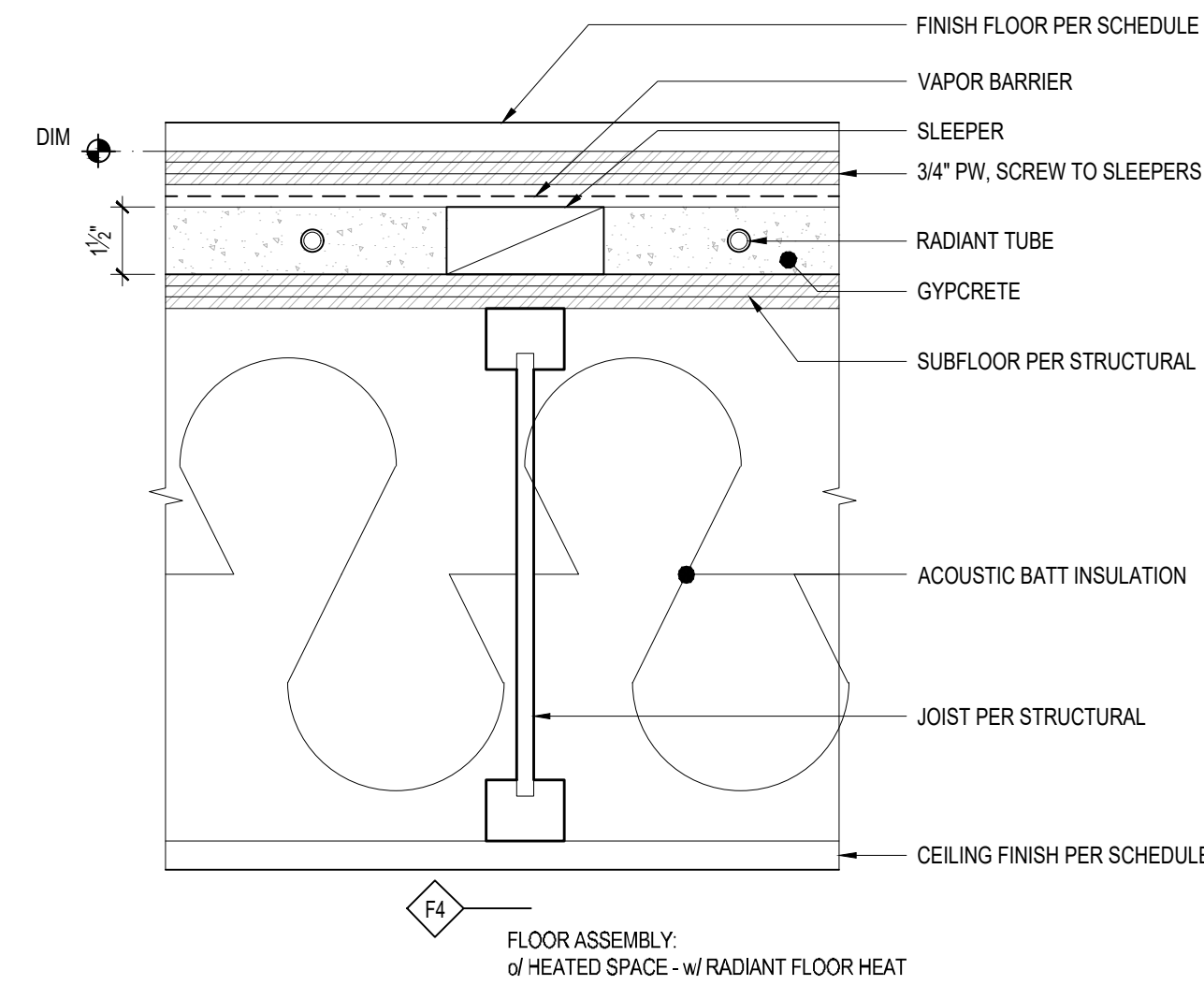


1 NOT USED
3" = 1'-0"

2 FLOOR ASSEMBLY - F1
3" = 1'-0"

3 FLOOR ASSEMBLY - F2
3" = 1'-0"

4 FLOOR ASSEMBLY - F3
3" = 1'-0"



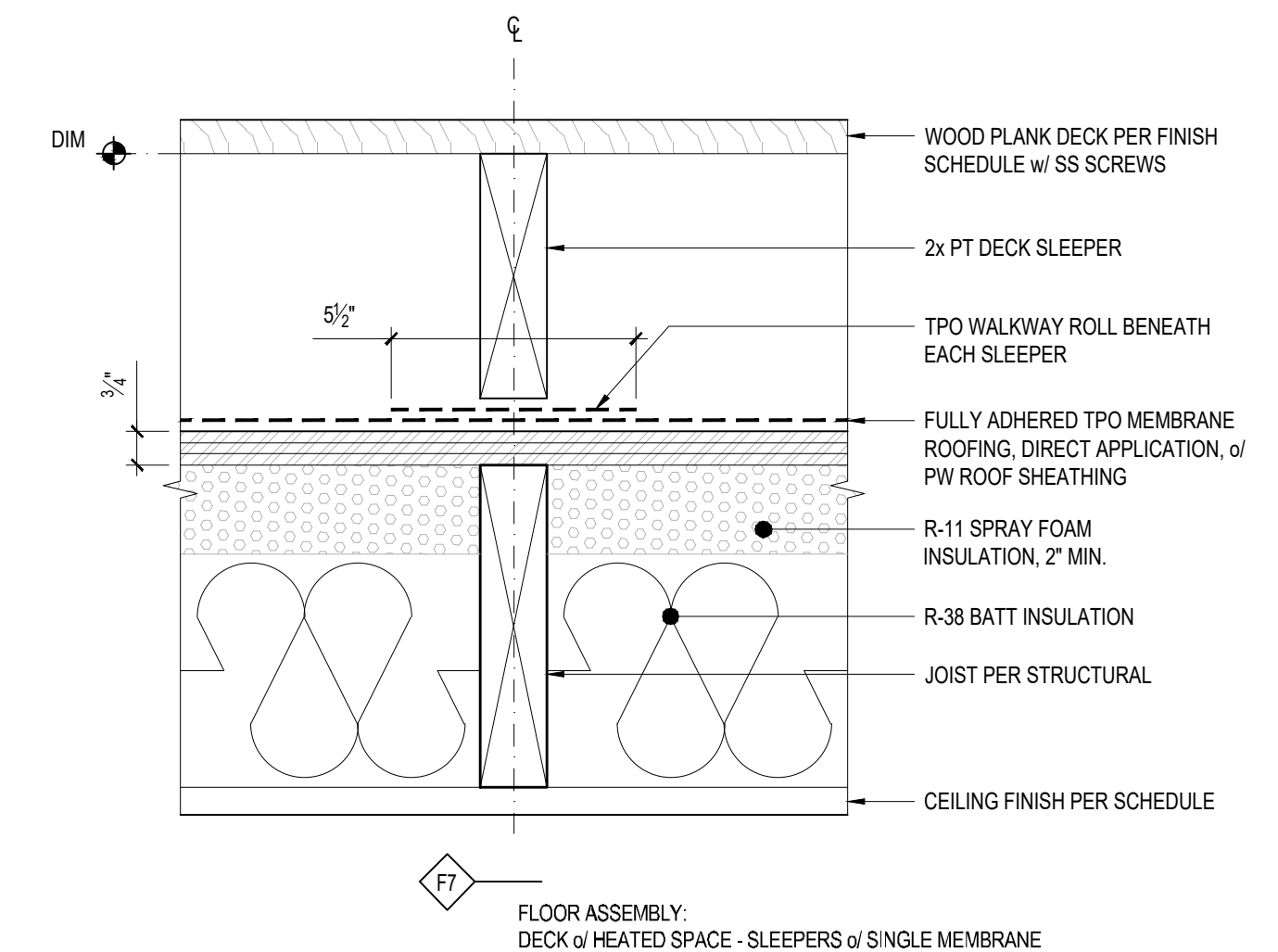
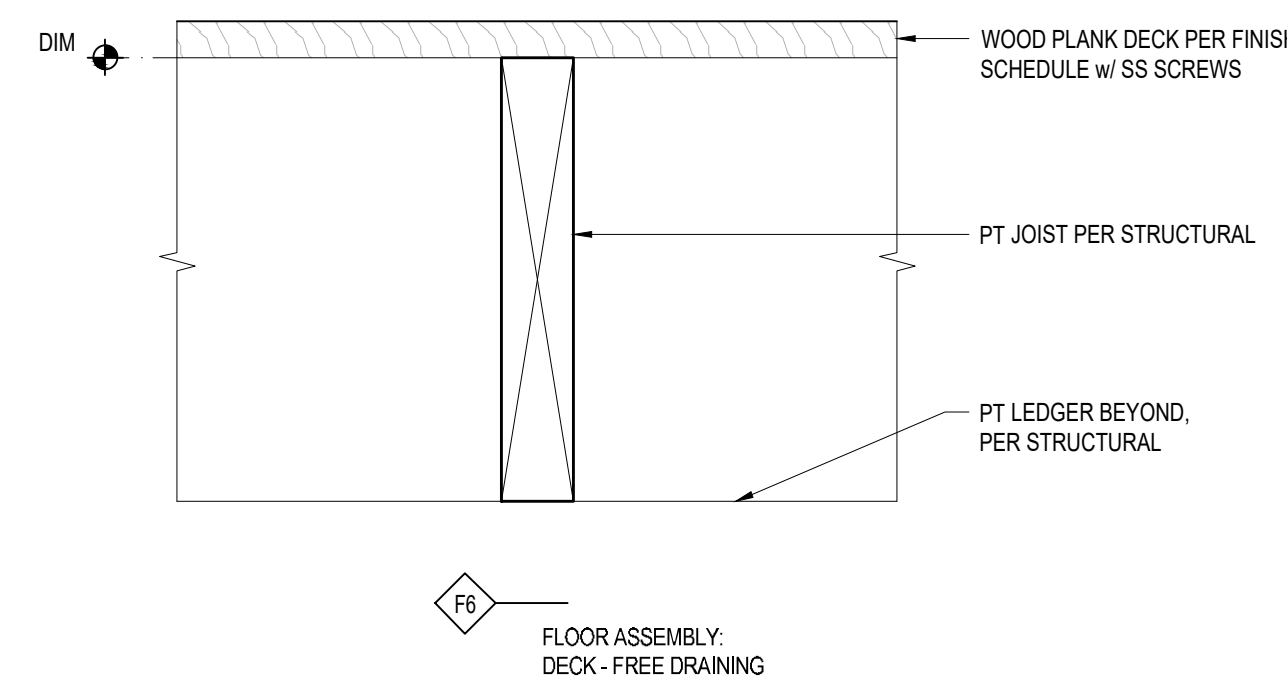
FLOOR INSULATION NOTES
1) INSULATE FLOOR ASSEMBLY OVER COVERED PATIO - F5
2) SOUND BATT INSULATION ONLY ELSEWHERE - F4

5 NOT USED
3" = 1'-0"

6 NOT USED
3" = 1'-0"

7 FLOOR ASSEMBLY - F4
3" = 1'-0"

8 FLOOR ASSEMBLY - F5
3" = 1'-0"

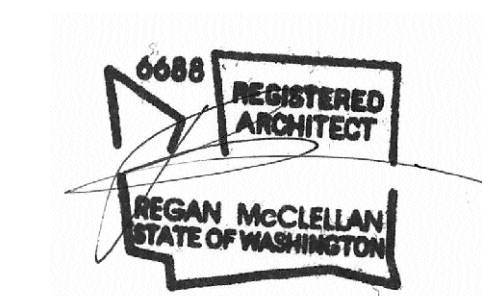


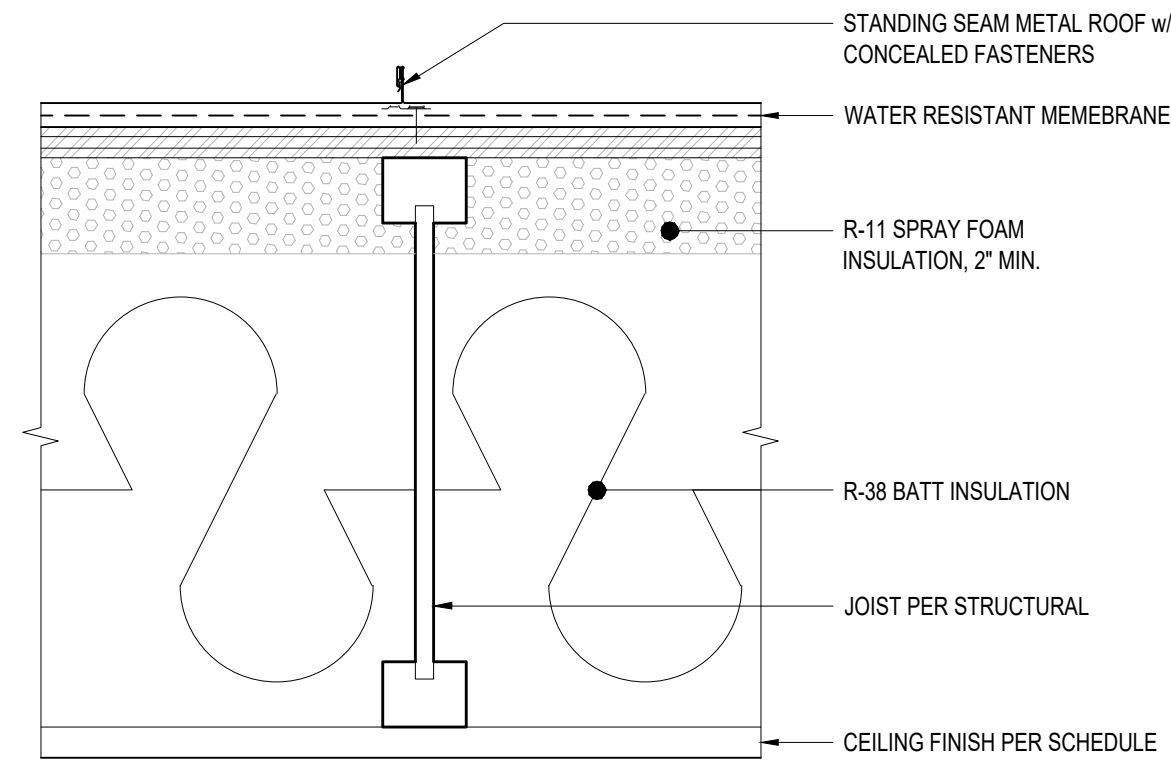
9 NOT USED
3" = 1'-0"

10 NOT USED
3" = 1'-0"

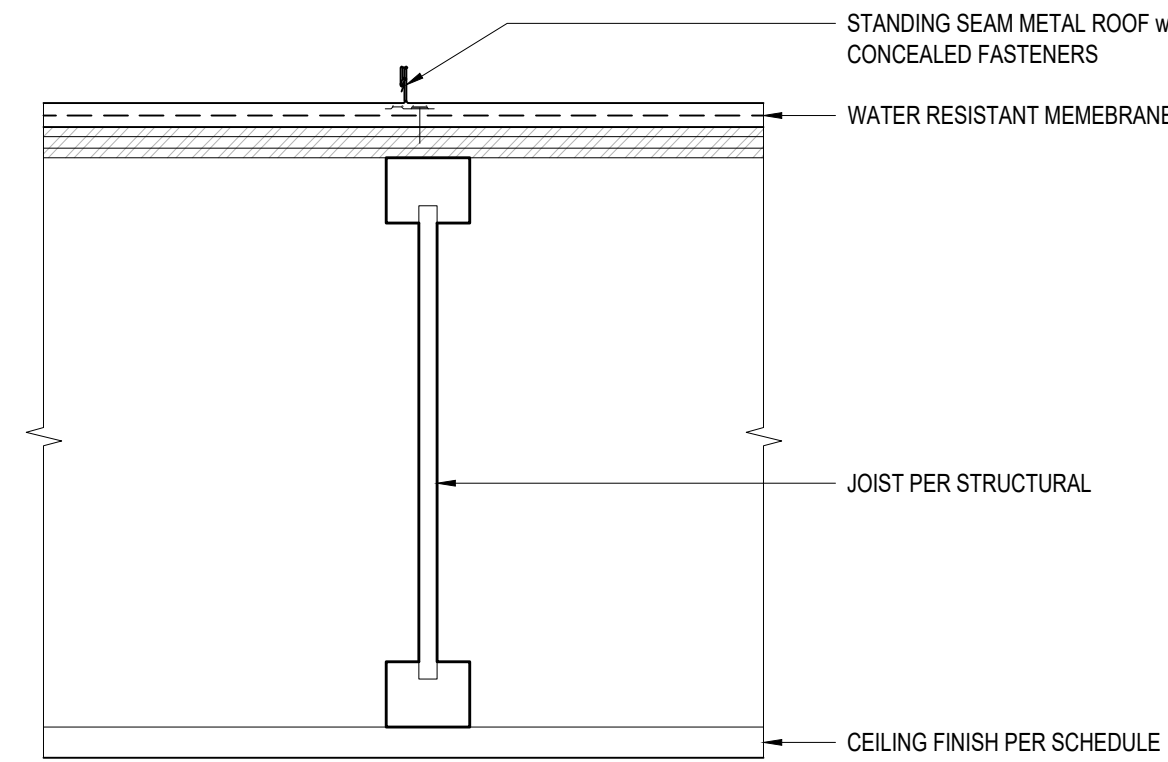
11 FLOOR ASSEMBLY - F6
3" = 1'-0"

12 FLOOR ASSEMBLY - F7
3" = 1'-0"

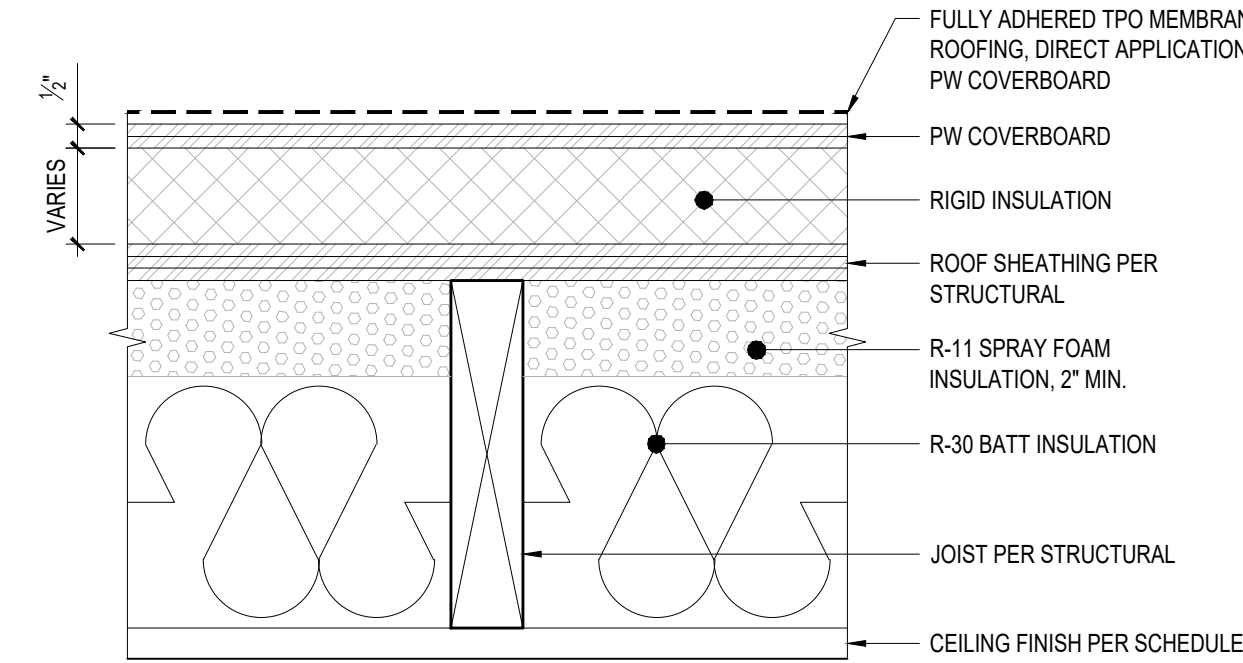




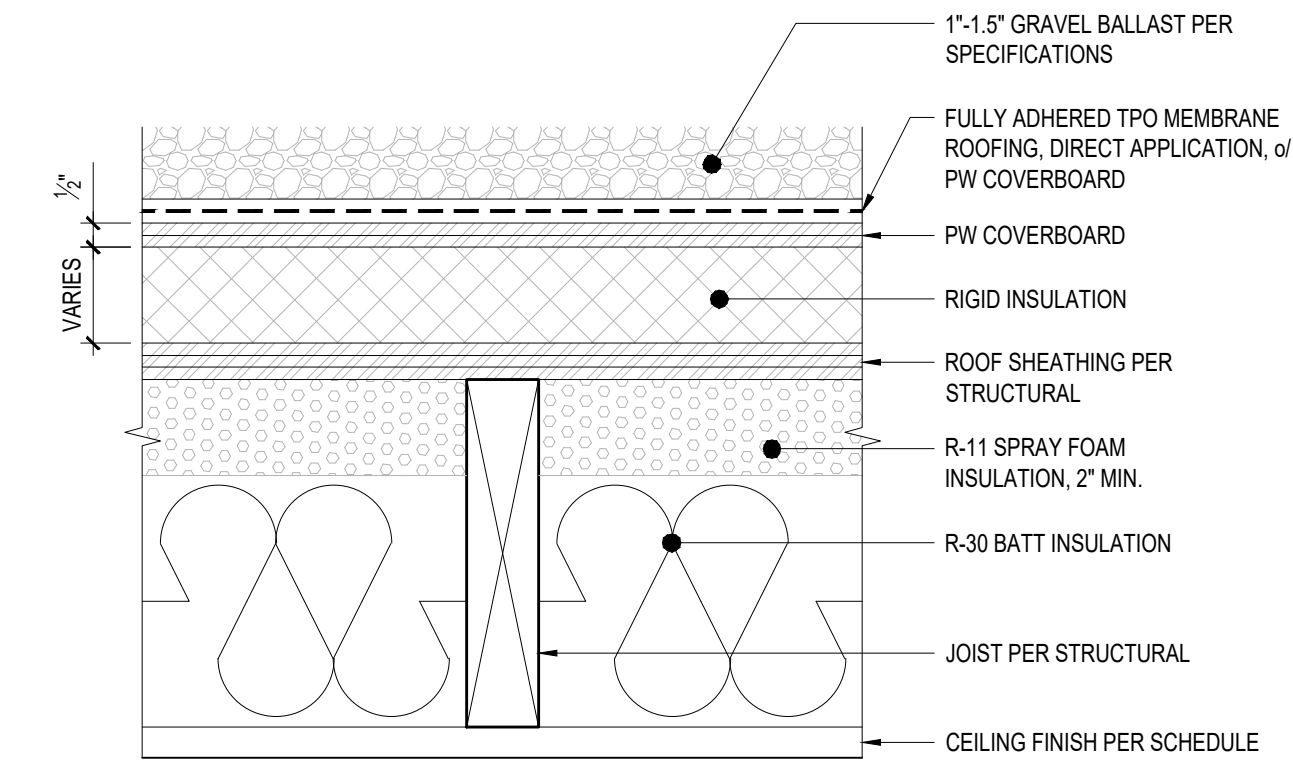
R1
ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - INSULATED w/o VENTILATION



R2
ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - VENTILATED w/o INSULATION



R3
ROOF ASSEMBLY:
SINGLE MEMBRANE w/ ROCK BALLAST or HEATED SPACE



R4
ROOF ASSEMBLY:
SINGLE MEMBRANE w/ ROCK BALLAST or HEATED SPACE

SPRAY FOAM INSULATION w/ NO VENTILATION
SPECIFICATION
1) PRODUCT: SPRAY-APPLIED POLYURETHANE FOAM
INSULATION
2) ICC-ES EVALUATION REPORT # ESR-3210
3) INSULATION MUST BE APPLIED BY CERTIFIED
INSTALLERS. A COPY OF THE INSTALLERS
CERTIFICATION MUST BE ON SITE FOR FIELD
INSPECTOR VERIFICATION

1 ROOF ASSEMBLY - R1
3" = 1'-0"

2 ROOF ASSEMBLY - R2
3" = 1'-0"

3 ROOF ASSEMBLY - R3
3" = 1'-0"

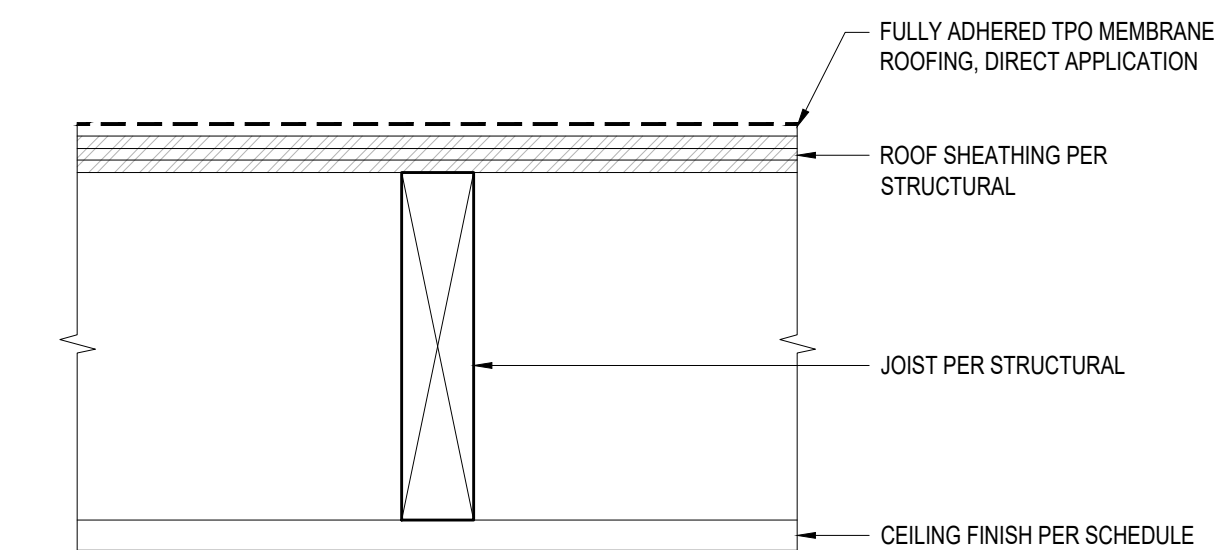
4 ROOF ASSEMBLY - R4
3" = 1'-0"

5 NOT USED
3" = 1'-0"

6 NOT USED
3" = 1'-0"

7 NOT USED
3" = 1'-0"

8 ROOF ASSEMBLY - R5
3" = 1'-0"



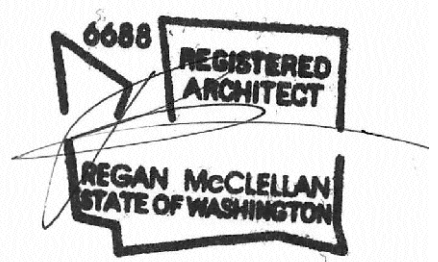
R5
ROOF ASSEMBLY:
SINGLE MEMBRANE w/o INSULATION

9 NOT USED
3" = 1'-0"

10 NOT USED
3" = 1'-0"

11 NOT USED
3" = 1'-0"

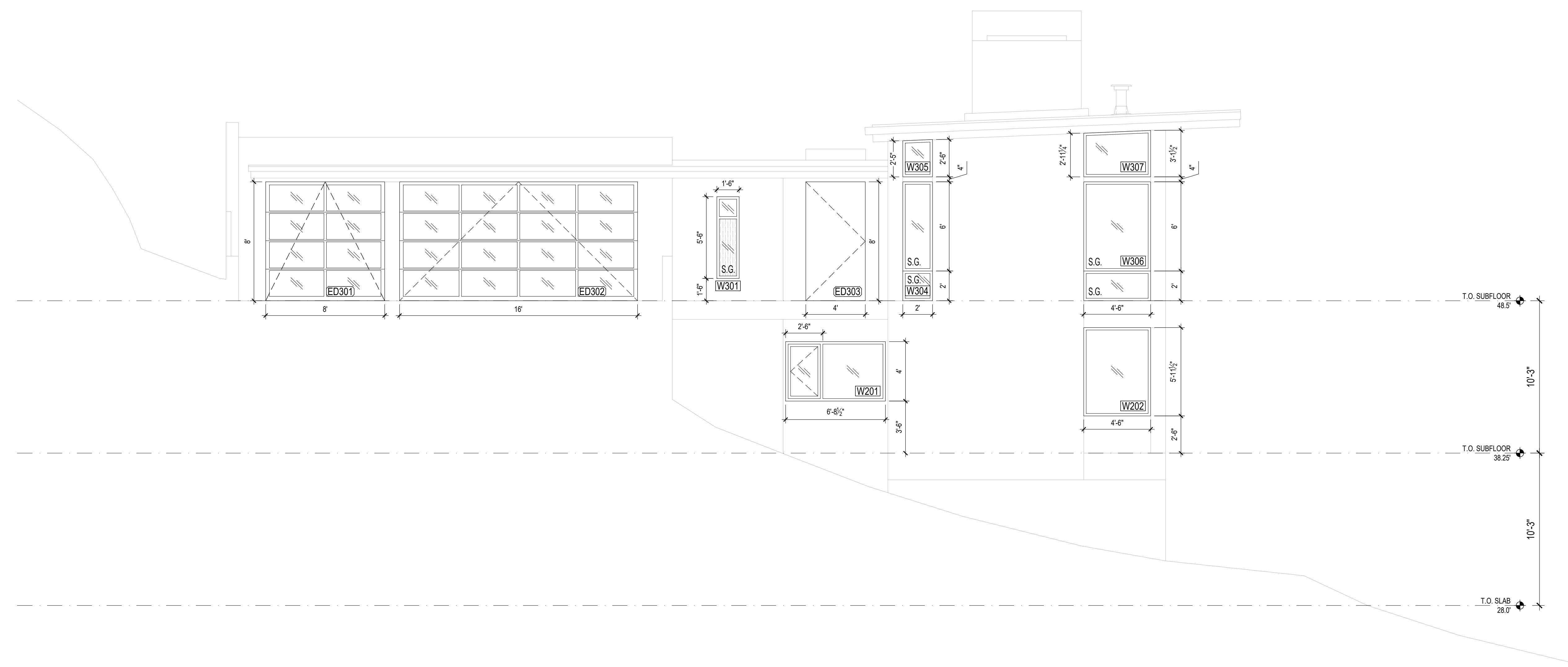
12 NOT USED
3" = 1'-0"



DATE:
FEBRUARY 25, 2022

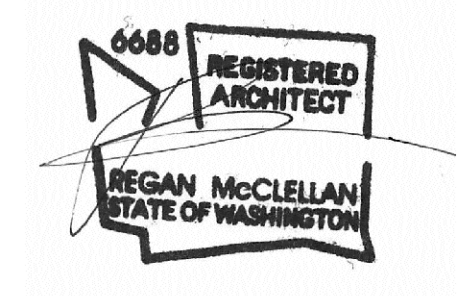
SHEET TITLE:
ROOF ASSEMBLIES

SHEET:



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

<p>WINDOW NOTES:</p> <ol style="list-style-type: none"> 1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM 2. WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON 3. SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON 4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES 5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS 6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308 7. THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
<p>WINDOW KEY:</p> <p>S.G. - SAFETY GLASS; TEMPERED - OBSCURE GLASS; FROSTED</p>



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
OPENING SCHEDULE

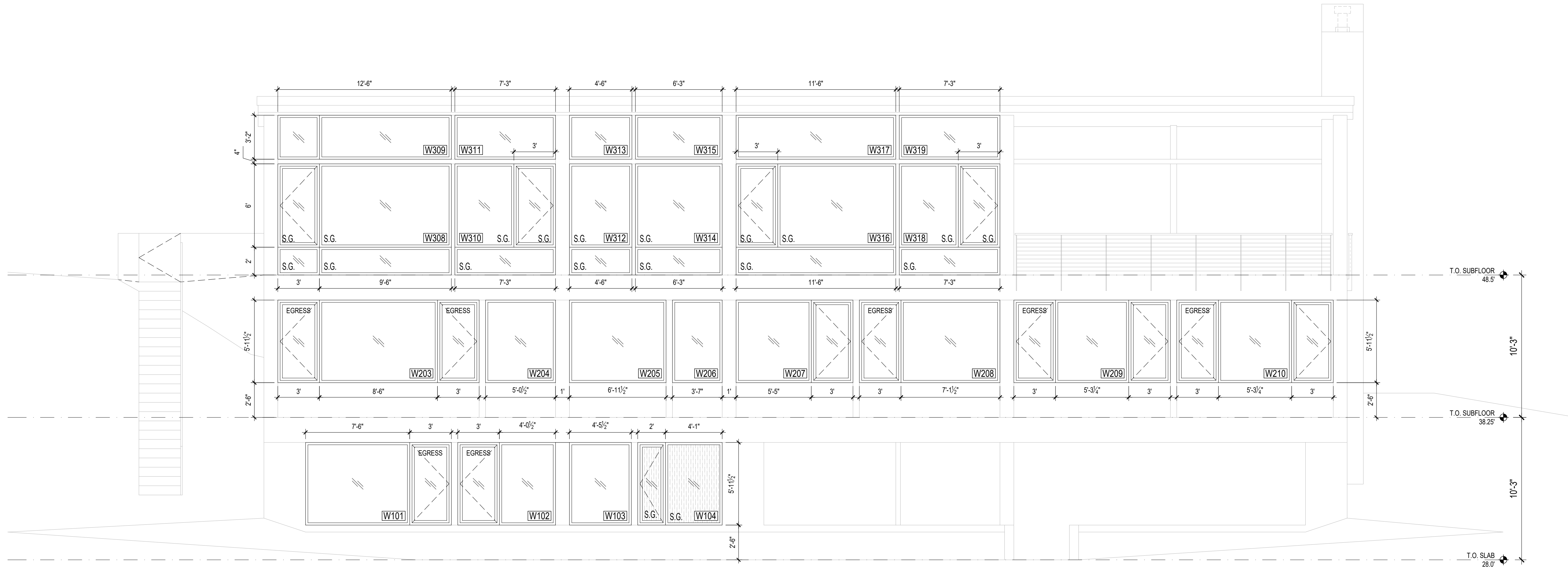
SHEET:

A6.0

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

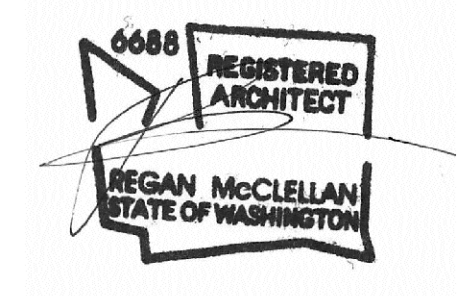
CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



1 WEST ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
<ol style="list-style-type: none"> ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308 THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION 	
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
[Pattern]	- OBSCURE GLASS; FROSTED

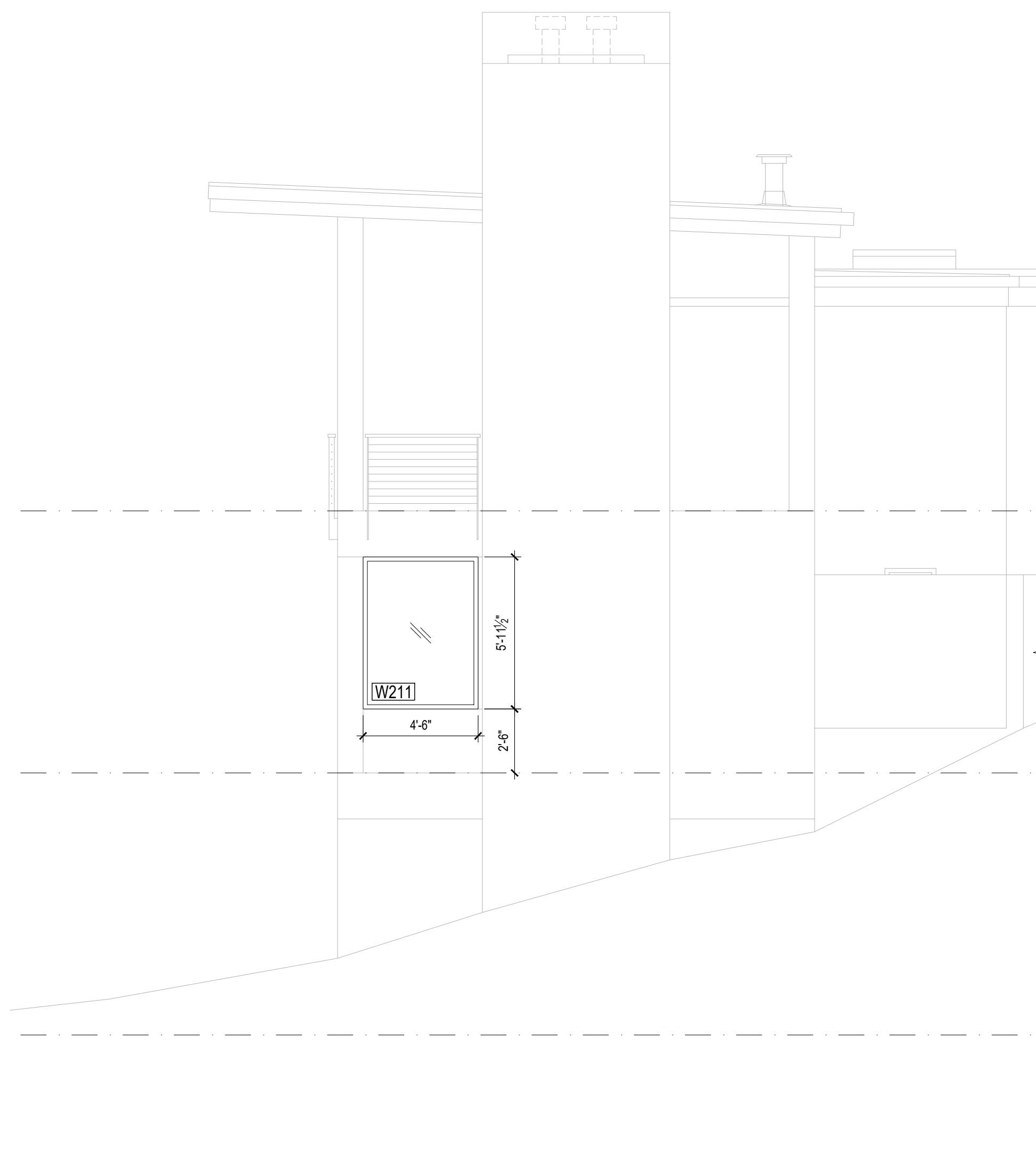


DATE:
FEBRUARY 25, 2022

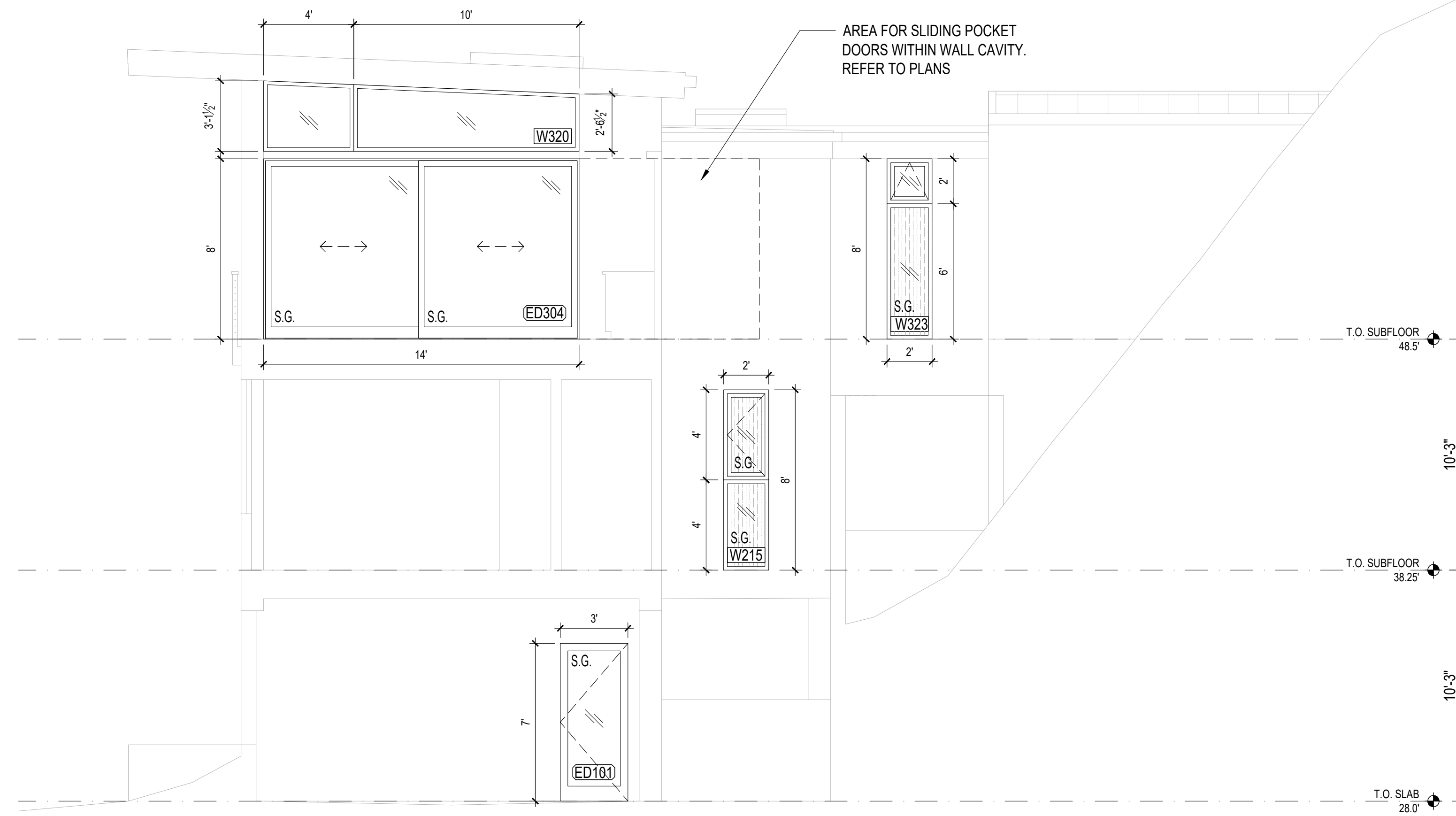
SHEET TITLE:
OPENING SCHEDULE

SHEET:

A6.1

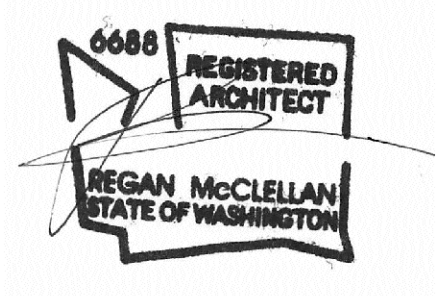


1 SOUTH ELEVATION - PARTIAL
SCALE: 1/4"=1'-0"



2 SOUTH CUTAWAY ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
1.	ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM
2.	WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON
3.	SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON
4.	ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
5.	CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
6.	CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308
7.	THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
[Pattern]	- OBSCURE GLASS; FROSTED

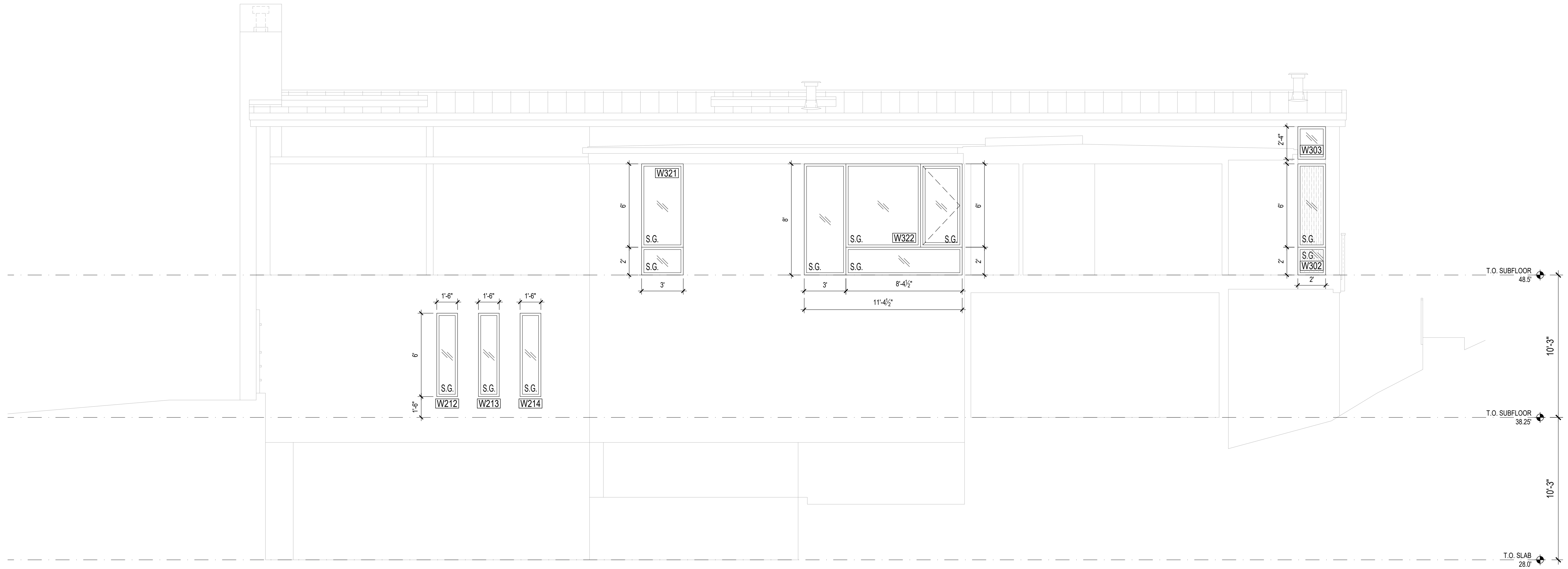


DATE:
FEBRUARY 25, 2022


SHEET TITLE:
OPENING SCHEDULE

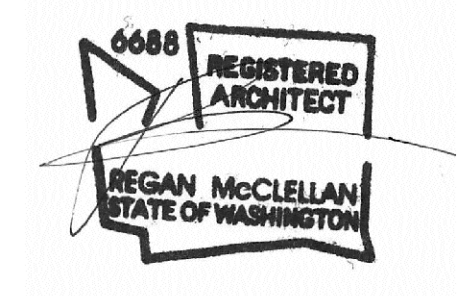
SHEET:

A6.2



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

<p>WINDOW NOTES:</p> <ol style="list-style-type: none"> 1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM 2. WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON 3. SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON 4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES 5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS 6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308 7. THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
<p>WINDOW KEY:</p> <p>S.G. - SAFETY GLASS; TEMPERED  - OBSCURE GLASS; FROSTED</p>



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
OPENING SCHEDULE

SHEET:

A6.3

WRITTEN DIMENSIONS:

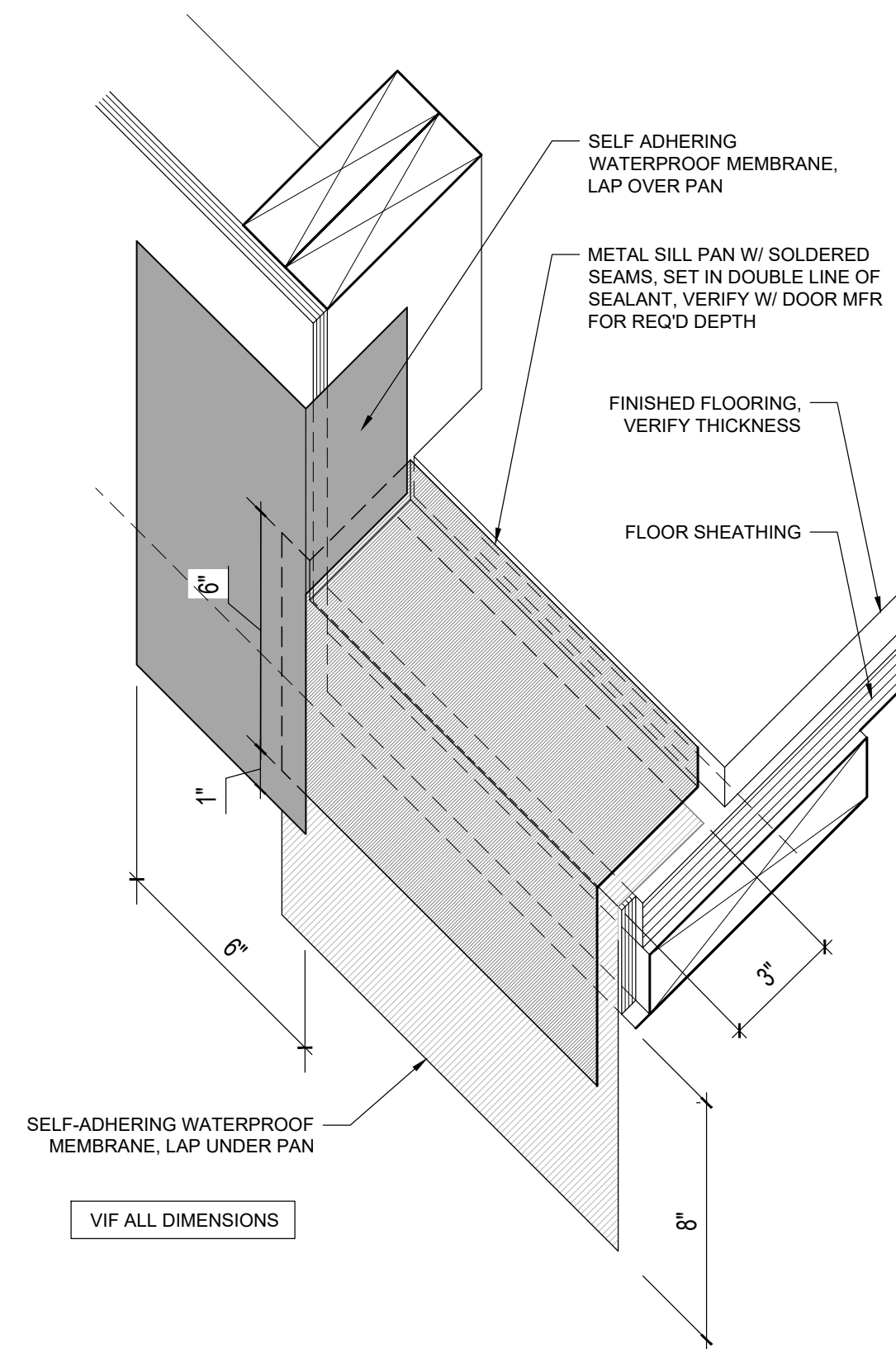
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

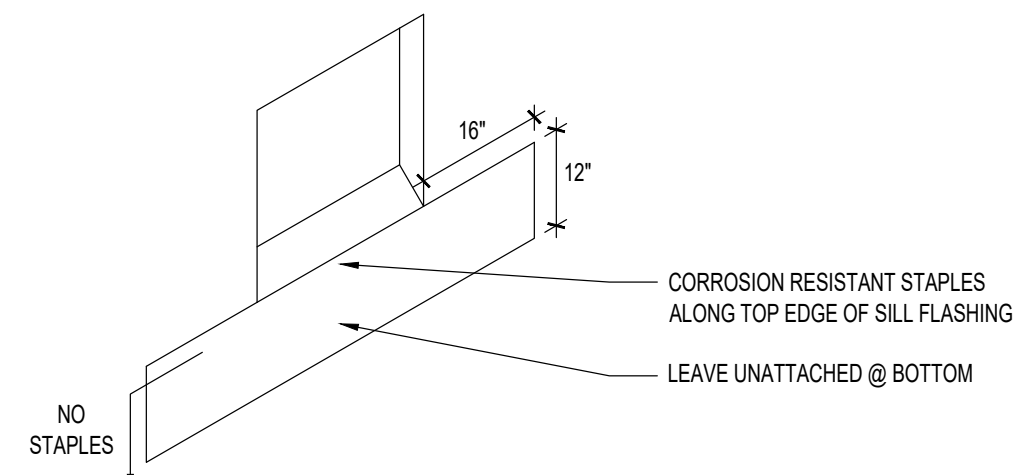
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

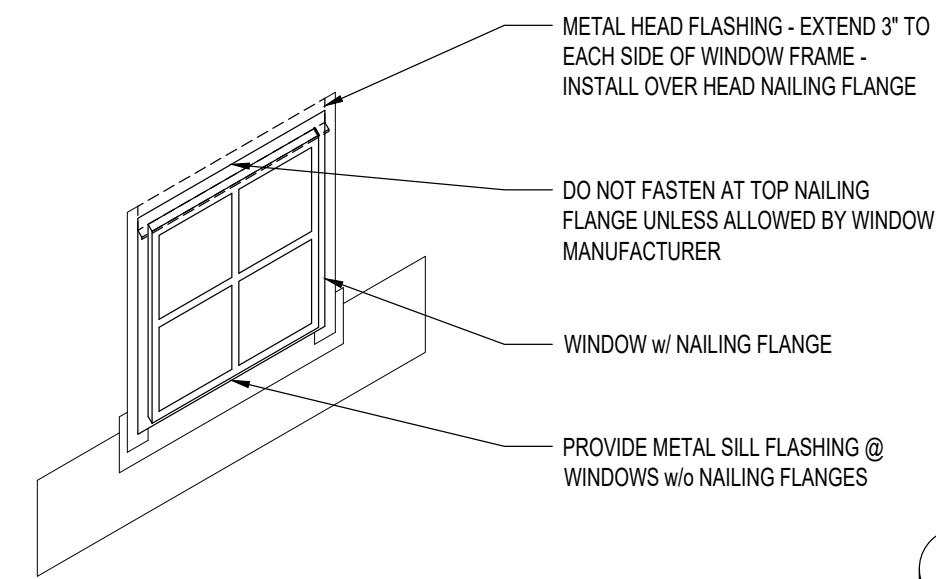
3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



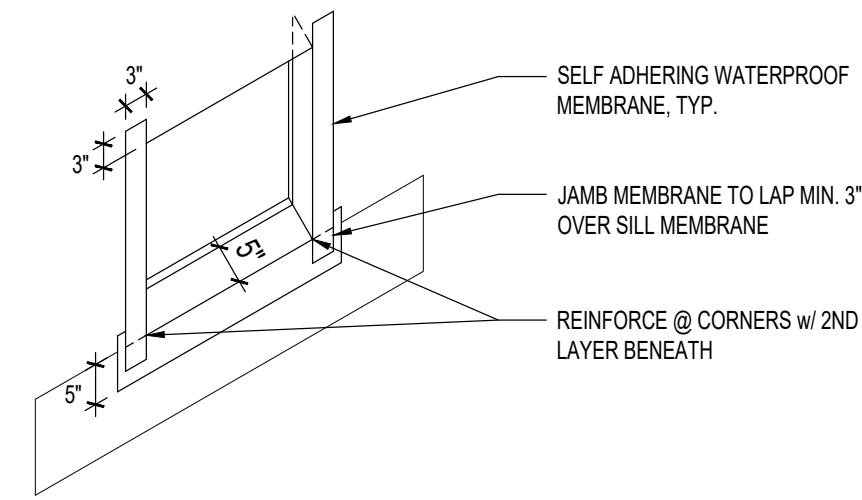
1 TYPICAL DOOR FLASHING DETAIL
3" = 1'-0"



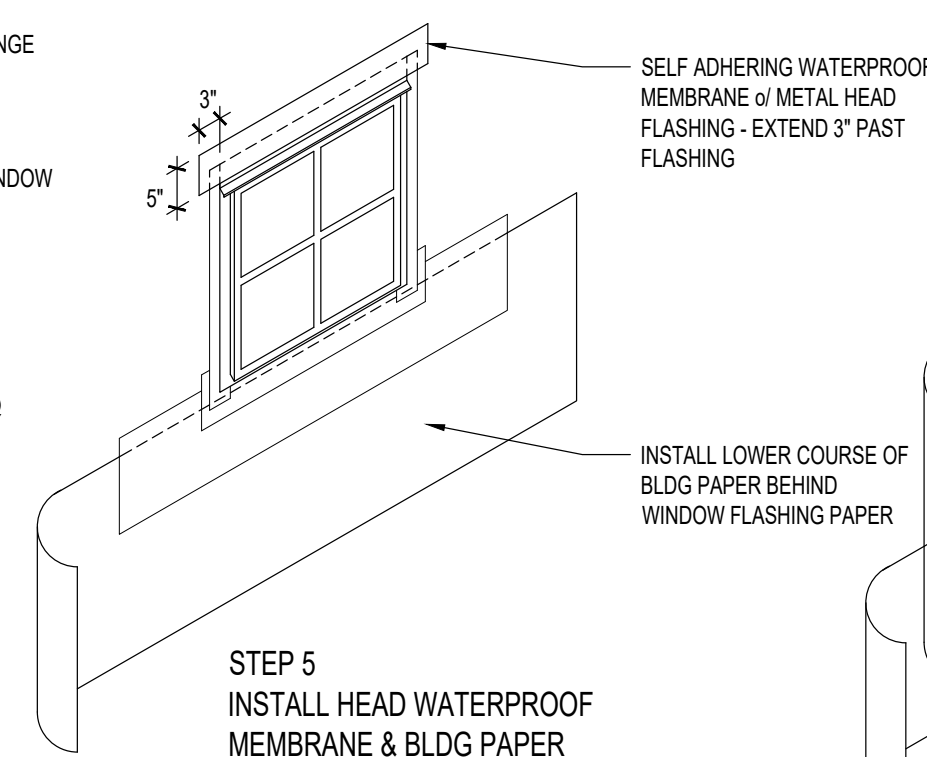
STEP 1
SILL FLASHING PAPER



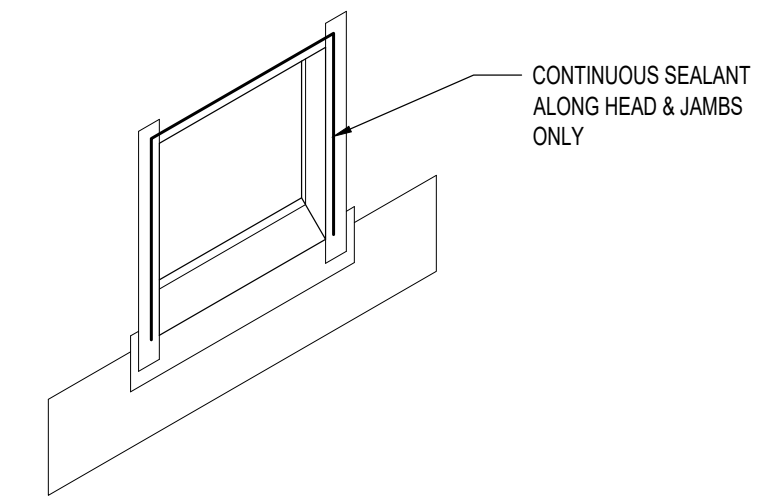
STEP 4
INSTALL WINDOW & HEAD FLASHING



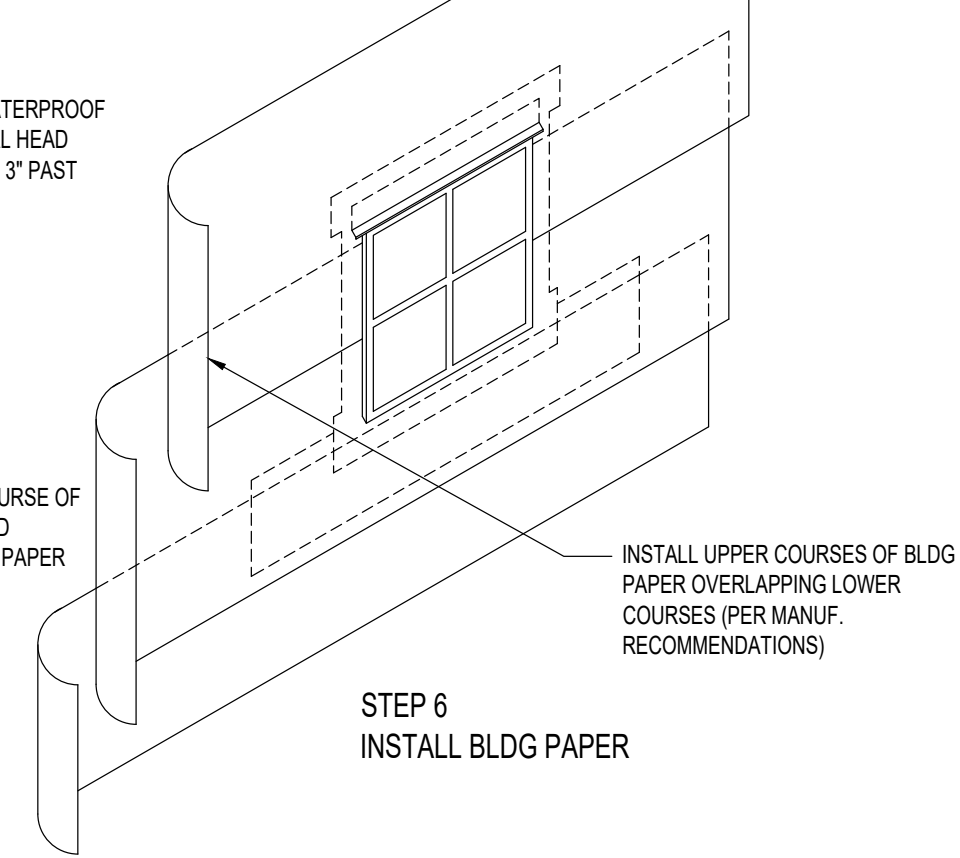
STEP 2
SILL & JAMB WATERPROOF MEMBRANE



STEP 5
INSTALL HEAD WATERPROOF MEMBRANE & BLDG PAPER

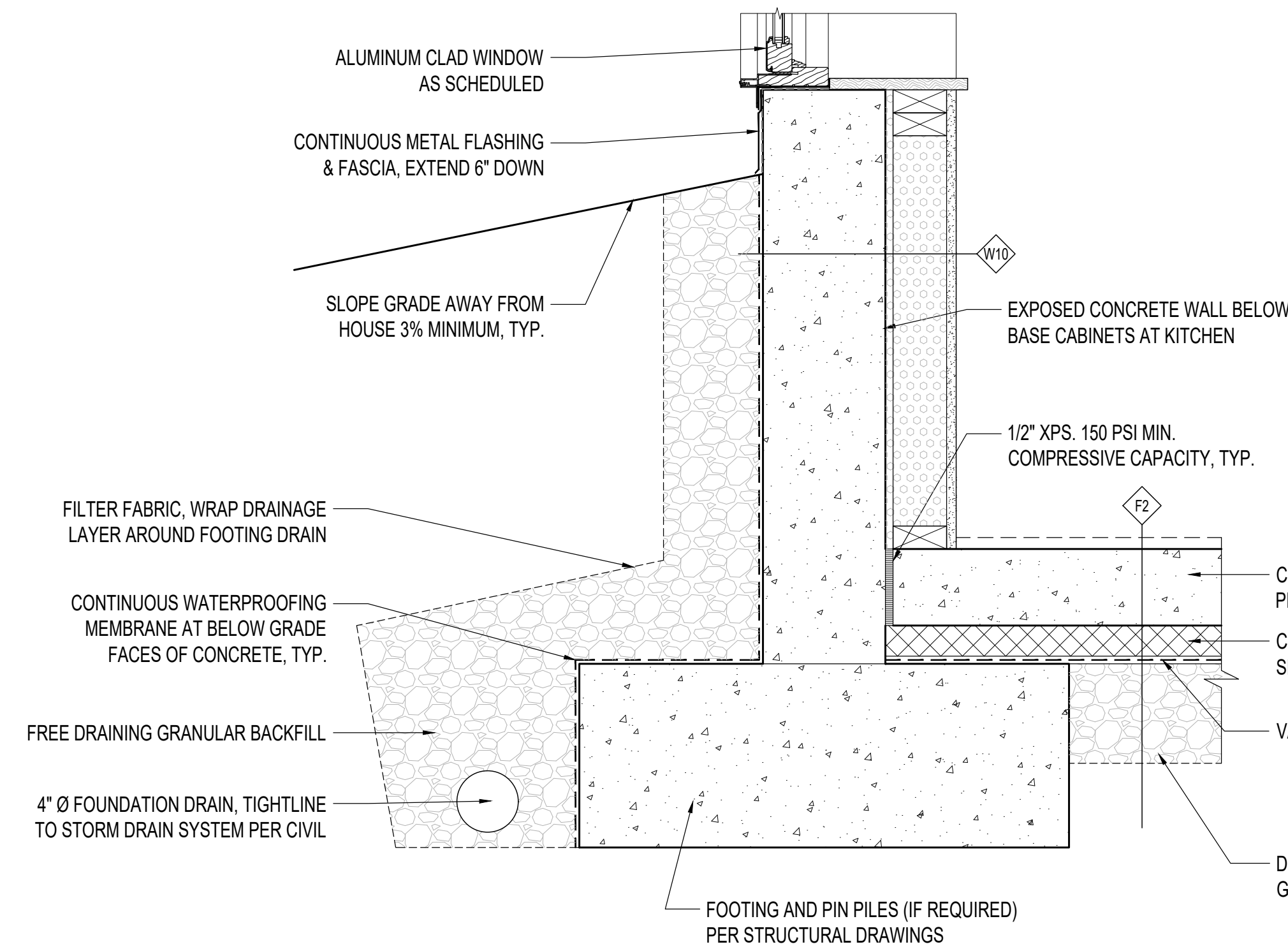


STEP 3
HEAD & JAMB SEALANT

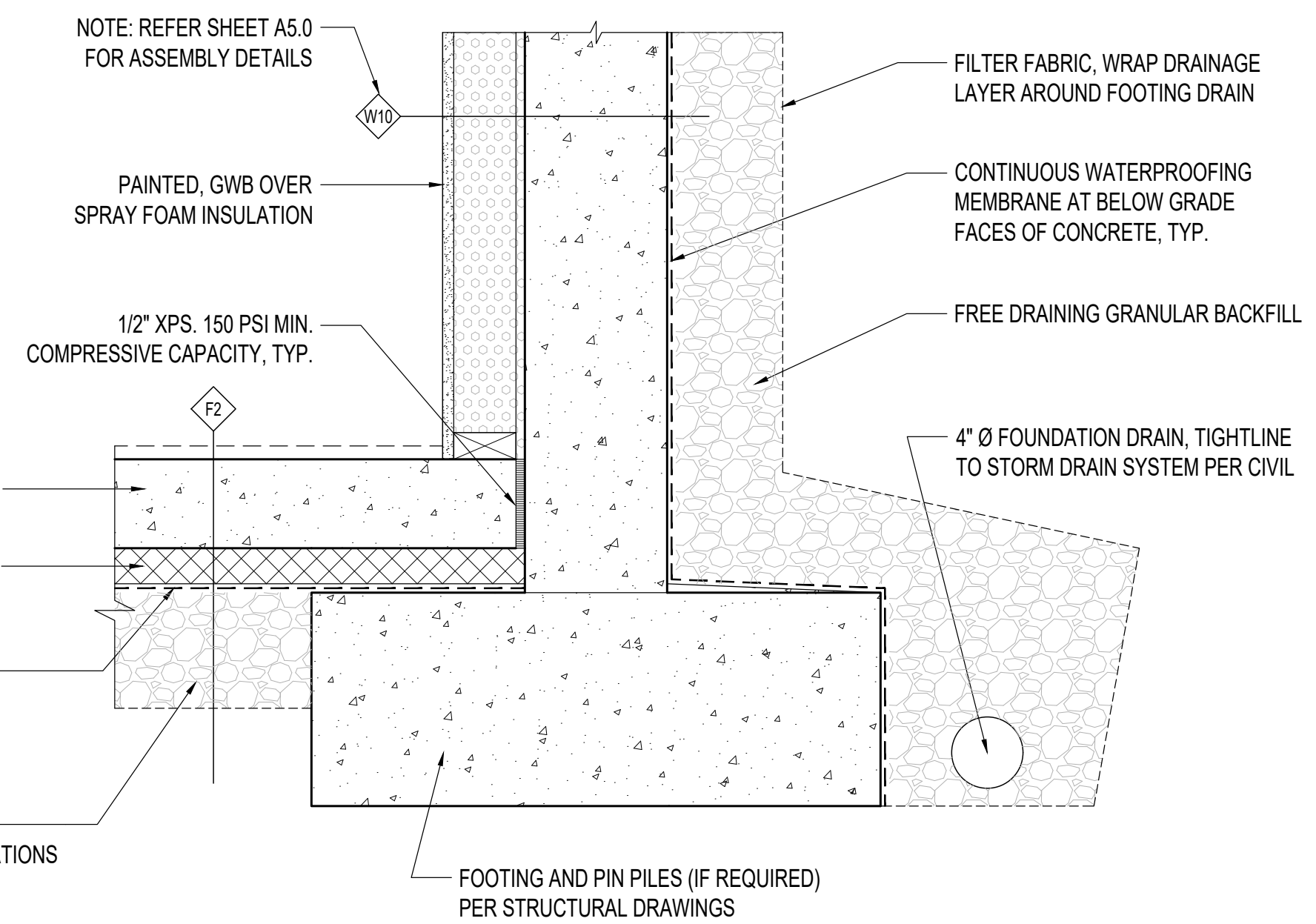


STEP 6
INSTALL BLDG PAPER

2 TYPICAL WINDOW FLASHING DETAILS
1/2" = 1'-0"



3 FOUNDATION DETAIL
1-1/2" = 1'-0"

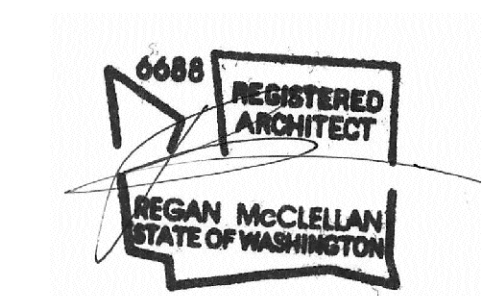


4 FOUNDATION DETAIL
1-1/2" = 1'-0"

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
TYPICAL DETAILS

SHEET:

A8.0

WRITTEN DIMENSIONS:

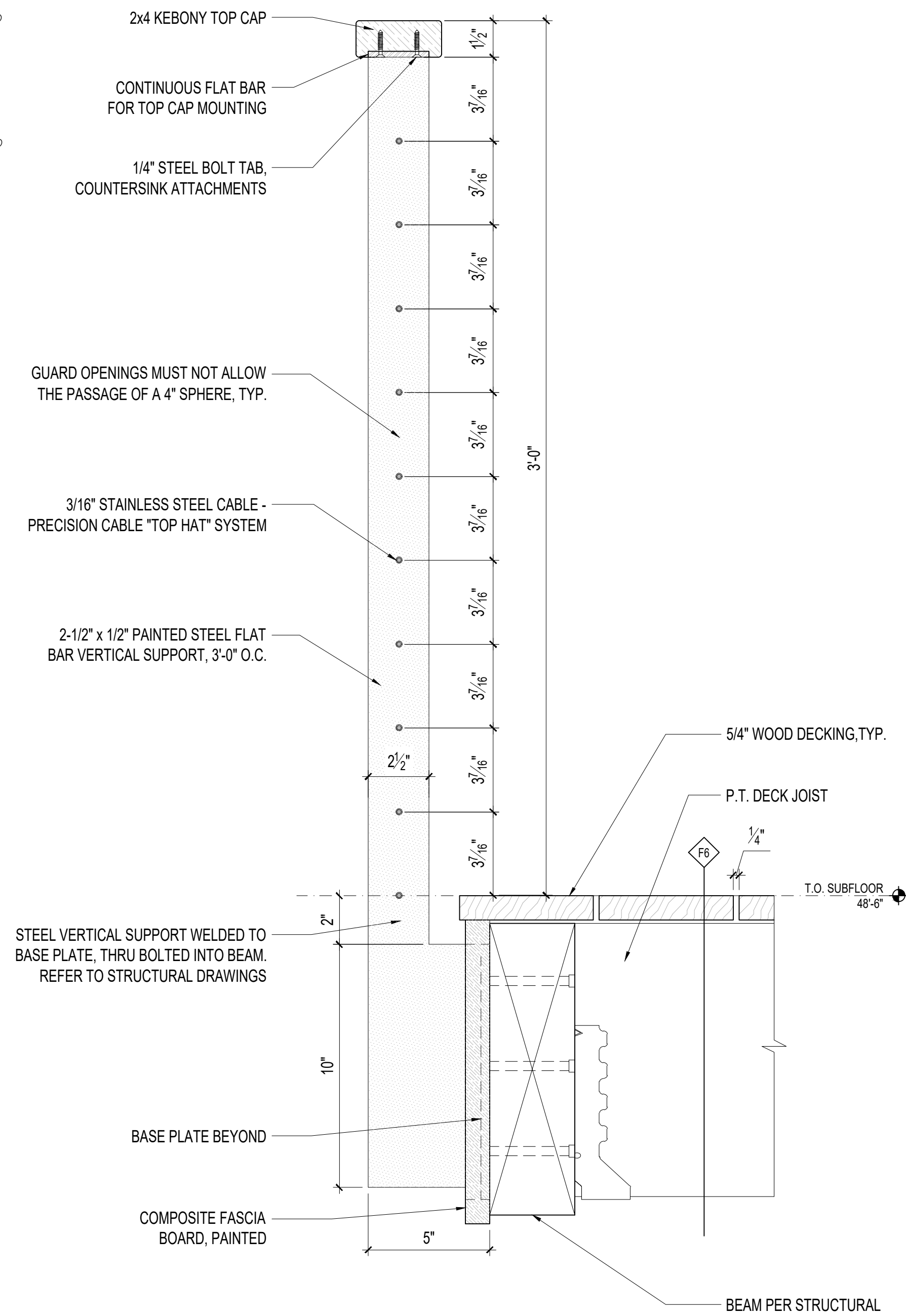
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

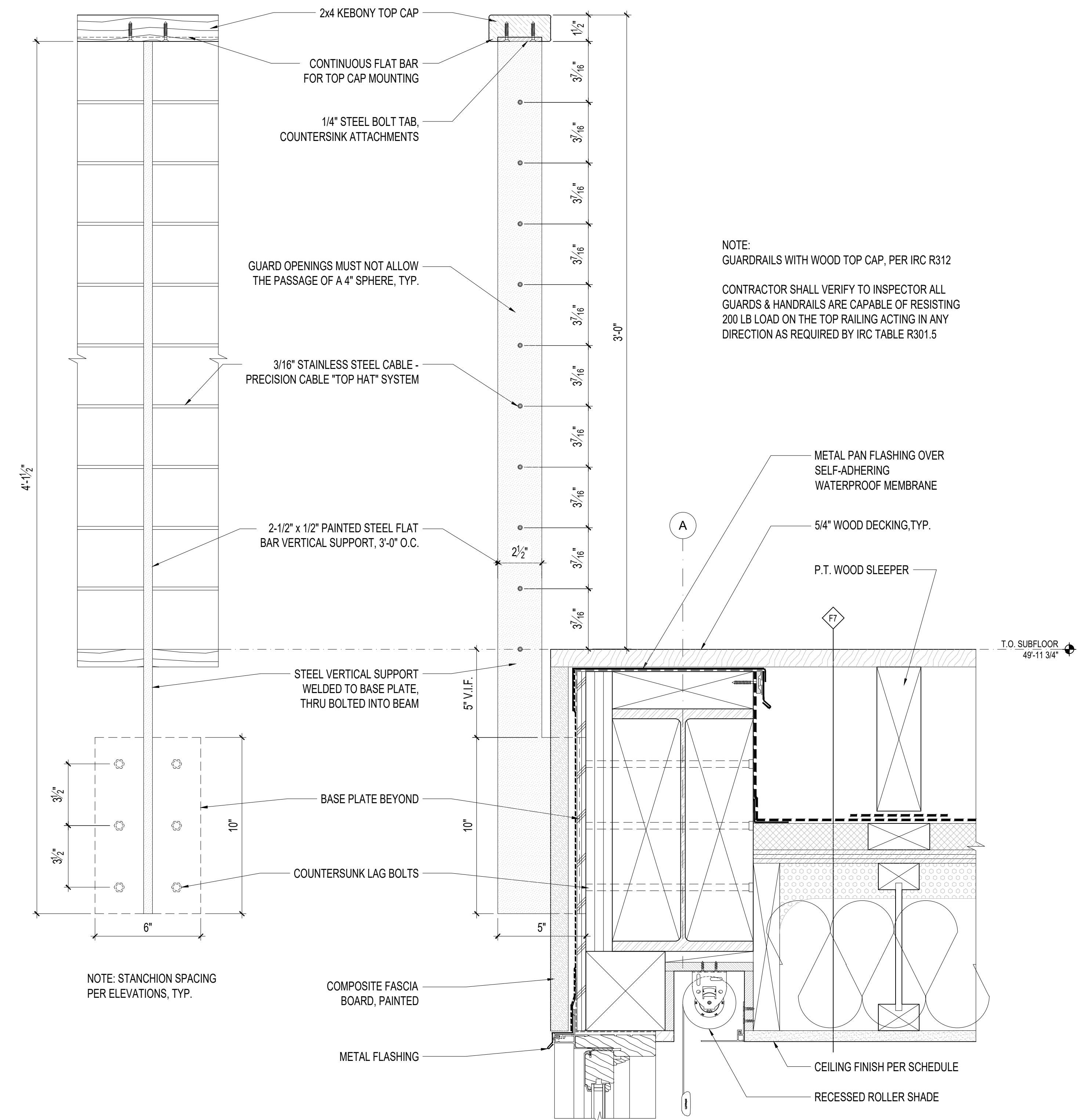
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 GUARDRAIL AT ENTRY BRIDGE
3" = 1'-0"



2 GUARDRAIL AT TERRACE
3" = 1'-0"
ELEVATION VIEW

3 GUARDRAIL AT TERRACE
3" = 1'-0"

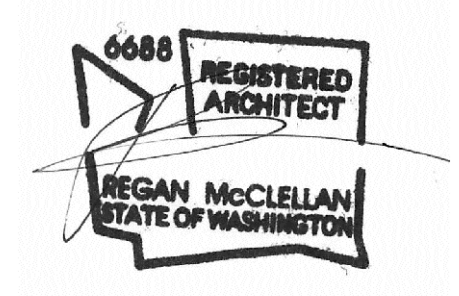
NOTE:
GUARDRAILS WITH WOOD TOP CAP, PER IRC R312
CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & HANDRAILS ARE CAPABLE OF RESISTING 200 LB LOAD ON THE TOP RAILING ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5

NOTE: STANCHION SPACING PER ELEVATIONS, TYP.

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

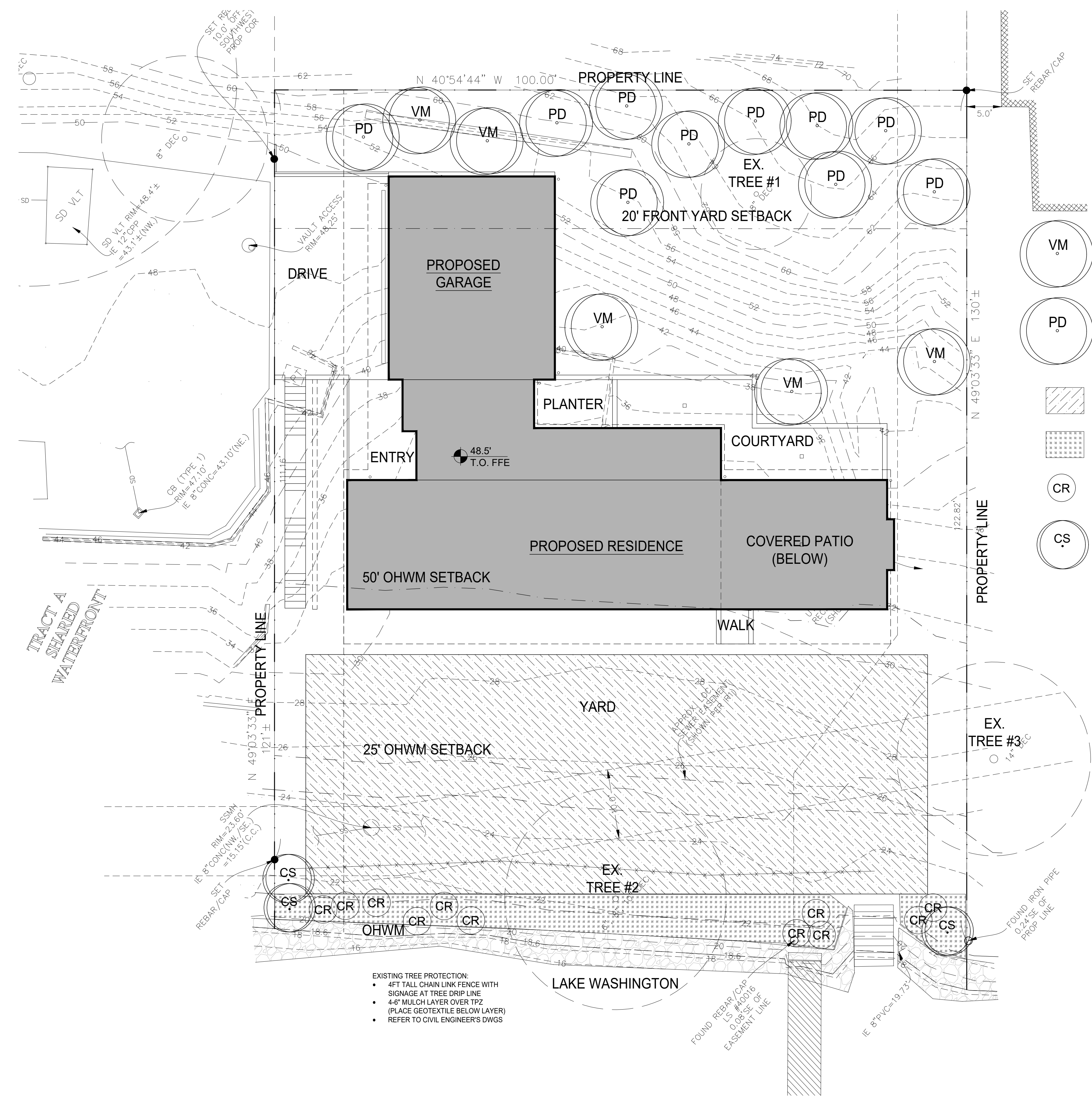
ISSUE:
PERMIT SUBMISSION 02.25.2022

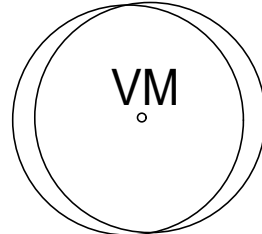
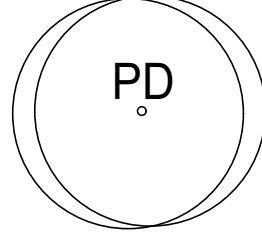
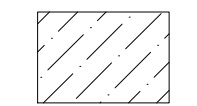


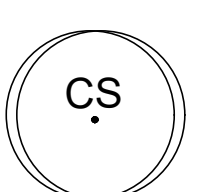


DATE:
FEBRUARY 25, 2022

SHEET TITLE:
TYPICAL DETAILS

SHEET:



-  VM VINE MAPLE
ACER CIRCINATUM
-  PD PACIFIC DOGWOOD
CORNUS NUTALLII
-  LAWN
-  BEACH STRAWBERRY
-  CR CLUSTER ROSE
ROSA PISOCARPA
-  CS RED TWIG DOGWOOD
CORNUS SERICEA

- EXISTING TREE PROTECTION:
- 4FT TALL CHAIN LINK FENCE WITH SIGNAGE AT TREE DRIP LINE
 - 4-6" MULCH LAYER OVER TPZ (PLACE GEOTEXTILE BELOW LAYER)
 - REFER TO CIVIL ENGINEER'S DWGS

1 SITE PLAN - PLANTING
SCALE: 1/8"=1'-0"

- AB - ANCHOR BOLT
- ADDL - ADDITIONAL
- ALT - ALTERNATE
- ALUM - ALUMINUM
- ARCH - ARCHITECTURAL
- BLDG - BUILDING
- BLK (G) - BLOCK(ING)
- BM(S) - BEAM(S)
- BO xxx - BOTTOM OF xxx
- BOT - BOTTOM
- DEM - BASE PLATE
- BPC - BOTTOM PLATE CONNECTION
- BTWN - BETWEEN
- CP - CAST IN PLACE
- CJT - CONTRACTION/CONSTRUCTION JOINT
- CL - CENTERLINE
- CLR - CLEAR(ANCE)
- CMU - CONCRETE MASONRY UNIT
- COL - COLUMN
- CONC - CONCRETE
- CONN - CONNECTION
- CONST - CONSTRUCTION
- CONT - CONTINUOUS
- CONTR - CONTRACTOR
- COORD - COORDINATE
- CP - COMPLETE PENETRATION
- CTR - CENTER(ED)
- D - DEPTH or DEEP
- DBL - DOUBLE
- DEG - DEGREE
- DEM - DEMOLITION
- DET - DETAIL
- DIA - DIAMETER
- DIAG - DIAGONAL
- DIM - DIMENSION
- DIST - DISTANCE
- DS - DOUBLE STUDS
- DWG - DRAWING
- EA - EACH
- EAF - EACH FACE
- EUT - EXPANSION JOINT
- EL - ELEVATION
- ELEC - ELECTRICAL
- EMBED - EMBEDMENT
- EN - END NAIL
- EOSL - EDGE OF SLAB
- EQ - EQUAL
- EQUIP - EQUIPMENT
- EW - EACH WAY
- EXIST - EXISTING
- EXP - EXPANSION
- EXT - EXTERIOR
- FDN - FOUNDATION
- FIN - FINISH(ED)
- FLG - FLANGE
- FLR - FLOOR
- FO xxx - FACE OF xxx
- FOC - FACE OF CONCRETE
- FOF - FACE OF FINISH
- FOS - FACE OF STEEL
- FS - FAR SIDE
- FT - FOOT or FEET
- FG - FOOTING
- GA - GAGE
- GALV - GALVANIZED
- GEN - GENERAL
- GR - GRADE
- GWB - GYPSUM WALLBOARD
- H - HIGH
- HD - HOLD DOWN
- HDR - HEADER
- HGR - HANGER
- HORIZ - HORIZONTAL
- HSS - HOLLOW STRUCTURAL SECTIONS
- HT - HEIGHT
- HVAC - HEATING, VENTILATING/ AIR CONDITIONING
- IP - INSULATION
- INSUL - INSULATION
- JST - JOIST
- JOINT - JOINT
- LL - LENGTH
- LLH - LONG LEG HORIZONTAL
- LLV - LONG LEG VERTICAL
- LOC - LOCATION
- LT - LIGHT
- LSH - LONG SLOTTED HOLE
- MB - MACHINE BOLT
- MECH - MECHANICAL
- MFR - MANUFACTURE(R/D)
- MIN - MINIMUM
- MISC - MISCELLANEOUS
- NORM - NORMAL
- NO. - NUMBER
- NS - NEAR SIDE
- NTS - NOT TO SCALE
- O/C - ON CENTER
- OD - OUTSIDE DIAMETER
- OF - OUTSIDE FACE
- OH - OPPOSITE HAND
- OPNG - OPENING
- OPP - OPPOSITE
- OVS - OVERSIZED
- PAF - POWDER ACTUATED FASTENER
- PEF - PANEL EDGE FRAMING
- PIL - PILASTER
- PL - PLATE
- PLCS - PLACES
- PLWD - PLYWOOD
- PNL - PANEL
- PSF - POUNDS PER SQUARE FOOT
- PZI - POUNDS PER SQUARE INCH
- RAD or R - RADIUS
- REF - REFERENCE
- REINF - REINFORCING
- REQD - REQUIRED
- RO - ROUGH OPENING
- SCHED - SCHEDULE
- SECT - SECTION
- SHT - SHEET
- SHTG - SHEATHING
- SIM - SIMILAR
- SL - SLOPE
- SPEC - SPECIFICATION
- SPCS - SPACES
- SQ - SQUARE
- SSH - SHORT SLOTTED HOLE
- SSLT - STAINLESS STEEL
- STD - STANDARD
- STIF - STIFFENER
- STL - STEEL
- STRUCT - STRUCTURAL
- SYM - SYMMETRICAL
- THK - THICK(NESS)
- TOC - TOP OF CONCRETE
- TOF - TOP OF FOOTING
- TOGB - TOP OF GRADE BEAM
- TOS - TOP OF STEEL
- TOSL - TOP OF SLAB
- TPC - TOP PLATE CONNECTION
- TYP - TYPICAL
- T&B - TOP AND BOTTOM
- UON - UNLESS OTHERWISE NOTED
- VERT - VERTICAL
- W - WIDTH
- WT - WEIGHT
- WWF - WELDED WIRE FABRIC
- WP - WORK POINT
- W/ - WITH

SPECIAL INSPECTION

- SPECIAL INSPECTIONS. OBSERVATIONS ARE A SUPPLEMENT TO THE CITY OF MERCER ISLAND INSPECTIONS REQUIRED BY THE INTERNATIONAL BUILDING CODE (IBC)

SPECIAL INSPECTION BY AN APPROVED INSPECTION AGENCY, APPROVED BY THE ARCHITECT AND THE CHECKING AGENCY SHALL BE REQUIRED FOR THE FOLLOWING TYPES OF WORK.

SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHEN THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED BY THE BUILDING OFFICIAL TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.

SHORING
ALL SHORING INSTALLATION SHALL BE PERFORMED WITH CONTINUOUS INSPECTION BY THE GEOTECH OF RECORD

SOILS
ALL BEARING SURFACES SHALL BE PERIODICALLY INSPECTED BY THE GEOTECH OF RECORD PRIOR TO PLACEMENT OF CONCRETE.
ALL PIPE PILE INSTALLATION SHALL BE CONTINUOUSLY INSPECTED BY THE GEOTECH OF RECORD.
ALL BACKFILLING OPERATIONS SHALL BE CONTINUOUSLY INSPECTED BY THE GEOTECH OF RECORD.

ADHESIVE ANCHORS, EPOXY GROUT
CONTINUOUS INSPECTION OF INSTALLATION OF ALL ADHESIVE ANCHORS AND EPOXY GROUT

STRUCTURAL STEEL
PERIODIC VISUAL INSPECTION OF ALL FILLET WELDS
PERIODIC VISUAL INSPECTION OF ALL FABRICATED STEEL ELEMENTS
PERIODIC REVIEW OF WELDER CERTIFICATIONS
PERIODIC ULTRASOUND INSPECTION OF ALL CJP WELDS
PERIODIC REVIEW OF WELDER CERTIFICATION

- THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL SHALL BE FURNISHED WITH COPIES OF ALL TEST RESULTS.

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND THE CODES, RULES AND REGULATIONS OF THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF MERCER ISLAND, WA.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. THIS INCLUDES CONNECTION HARDWARE AND FASTENERS THAT MAY INTERFERE WITH FINISHES OR OTHER ADJACENT SURFACES.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THESE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS; THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OR ARCHITECT IN WRITING OF SUCH OMISSION OR ERROR BEFORE PROCEEDING WITH THE WORK.
- NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NOTES AND DETAILS ON DRAWINGS AND THESE GENERAL NOTES AND TYPICAL DETAILS ARE IN CONFLICT, THE MOST STRINGENT SHALL APPLY. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED AS SHOWN FOR SIMILAR WORK, SUBJECT TO REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- MANUFACTURED MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THEIR USE. ALL REQUIREMENTS OF THOSE APPROVALS SHALL BE FOLLOWED.
- ALL STRUCTURAL SYSTEMS THAT ARE TO BE COMPOSED OF MANUFACTURED COMPONENTS TO BE FIELD ERRECTED SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THEIR USE AND SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- FRAMING MEMBERS WHICH ARE NOT DIMENSIONED SHALL BE EQUALLY SPACED BETWEEN DIMENSIONED POINT OR MEMBERS.
- SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
 - SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS AND THRESHOLD REQUIREMENTS.
 - SIZE AND LOCATION OF ALL NON-BEARING PARTITIONS.
 - SIZE AND LOCATION OF ROOF, FLOOR AND WALL OPENINGS.
 - SIZE AND LOCATION OF DEPRESSED AREAS, CHANGES IN ELEVATION, FLOOR AND ROOF DRAINS, SLOPES, CONCRETE CURBS, LEDGES, PADS AND ISLANDS, CHAMFERS, GROOVES, INSERTS, ETC.
 - DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
 - EXTERIOR WALL SYSTEMS.
- SEE ARCH, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE FOLLOWING:
 - PIPE RUNS, SLEEVES, HANGERS, TRENCHES, WALL, ROOF AND FLOOR OPENINGS, ETC., NOT SHOWN OR NOTED.
 - ELECTRICAL CONDUIT RUNS, BOXES, OUTLETS IN WALLS AND SLABS.
 - ANCHORAGE AND BRACING FOR ELECTRICAL, MECHANICAL OR PLUMBING EQUIPMENT TO THE STRUCTURE.
 - ANCHOR BOLTS FOR MOTOR MOUNTS.
 - SIZE, WEIGHT AND LOCATION OF MACHINES AND EQUIPMENT BASES.
- THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN STRUCTURAL MEMBERS UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS. NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWINGS BY OTHERS SHOW OPENINGS, POCKETS, ETC., LARGER THAN 6 INCHES NOT SHOWN ON THE STRUCTURAL DRAWINGS, BUT WHICH ARE LOCATED IN STRUCTURAL MEMBERS.
- SPECIFICATIONS, CODES, AND STANDARDS NOTED IN THE CONTRACT DOCUMENTS SHALL BE OF THE LATEST APPROVED ISSUE, INCLUDING SUPPLEMENTS, UNLESS OTHERWISE NOTED. MATERIAL SPECIFICATIONS ARE ASTM LATEST EDITION.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

DESIGN CRITERIA

DESIGN LOADS:		
ROOF DEAD LOAD	15 PSF	
FLOOR DEAD LOAD	30 PSF	
DECK DEAD LOAD	10 PSF	
ROOF SNOW LOAD	30 PSF	
FLOOR LIVE LOAD	40 PSF	
DECK LIVE LOAD	60 PSF	
WIND DESIGN:		
BASIC WIND SPEED (3 SECOND GUST)	110 MPH	
EXPOSURE CATEGORY	C	
IMPORTANCE FACTOR Iw	1.0	
Kzt	1.0	
SEISMIC DESIGN:		
SEISMIC USE GROUP	I	
Sds	0.883	
Sd1	0.509	SITE CLASS C PER GEO
IMPORTANCE FACTOR Ie	1.0	
R	5	

SEISMIC DESIGN FORCE SYSTEM CONSISTS OF SPECIAL CONCRETE SHEAR WALLS, ORDINARY STEEL MOMENT FRAME AND PLYWOOD SHEAR WALLS. AN R OF 3.5 WAS USED IN THE LONGITUDINAL DIRECTION AND 6.5 IN THE TRANSVERSE DIRECTION.

SOILS

FOUNDATION DESIGN BASED UPON THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT PREPARED BY GEOTECH CONSULTANTS, INC DATED JUNE 18, 2021.

ALLOWABLE BEARING PRESSURE	3000 PSF
SHORT TERM ALLOWABLE INCREASE	1/2 INCREASE
ALLOWABLE PASSIVE PRESSURE	300 PCF
ALLOWABLE SLIDING FRICTION	0.4
ACTIVE WALL PRESSURE	40 PCF
RESTRAINED WALL PRESSURE	90 PCF
SEISMIC SURCHARGE	9H PSF WHERE H = WALL HEIGHT
UNIT SOIL WEIGHT	130 PCF
RETAINING WALL FACTOR OF SAFETY	USE 1.5 W/O SEIS AND 1.2 W/SEIS
4" PIPE PILES	20k w/10 SEC/IN (1100# HAMMER) OR 4 SEC/IN (2000# HAMMER)
SHORING PIPE PILE BATTERED 1H:5V	20k VERT & 2k HORIZ

DESIGN PARAMETERS	TEMPORARY	PERMANENT
ACTIVE PRESSURE LEVEL BACKFILL	40 PCF	40 PCF
ACTIVE PRESSURE SLOPED BACKFILL	60 PCF	60 PCF
PASSIVE PRESSURE	300 PCF 2x PILE DIA	300 PCF 2x PILE DIA
TRAFFIC SURCHARGE	2 ADD FT OF WALL HT	2 ADD FT OF WALL HT
SEIS SURCHARGE	NONE	8H PSF H = WALL HT
CATCHMENT WALL EAST OF GARAGE	NONE	7' ABV GRD 80 PCF
CATCHMENT WALL EAST OF RESIDENCE	NONE	6' ABV GRD 80 PCF
FACTOR OF SAFETY	1.2	1.5 w/o SEIS 1.2 w/SEIS 1.2 w/ CATCHMENT

ALL SHORING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT NOTED ABOVE.

ALL SHORING INSTALLATION SHALL BE MONITORED BY GEOTECH CONSULTANTS, INC.

FOUNDATIONS

- ALL FOUNDATIONS SHALL BE FOUNDED A MINIMUM OF 18" BELOW LOWEST ADJACENT FINAL FINISH FLOOR OR GRADE.
- ALL PIPE PILES SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECH REPORT NOTED ABOVE.

CONCRETE

- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' ACI 318 AND ACI 301, WITH MODIFICATIONS AS NOTED IN THE CONTRACT DOCUMENTS.
- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 TYPE I OR TYPE II.
- COARSE AND FINE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C-33.
- AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C-330 AND THE PROJECT SPECIFICATIONS.
- WATER SHALL BE CLEAR AND SHALL CONFORM TO ASTM C-94.
- CONCRETE MIXING OPERATION SHALL CONFORM TO ASTM C-94.
- ADD TO ALL CONCRETE EXPOSED TO WEATHER MICROAIR OR MBVR AIR ENTRAINING AGENT TO ATTAIN 5 PERCENT +/- 1 PERCENT ENTRAINED AIR, BY VOLUME, CONFORMING TO ASTM C-260. ALL REFERENCE DATA USED FOR PAST PERFORMANCE DESIGN SHALL HAVE CONTAINED THE SAME ADMIXTURE BRAND AS THAT USED IN THE MIX SUBMITTED.
- CONCRETE STRENGTHS SHALL BE VERIFIED BY 28-DAY CYLINDER TESTS, UNLESS OTHERWISE APPROVED. CONCRETE SHALL BE AS FOLLOWS:

ELEMENT	DES STRENGTH USED IN CALCS	MIX DESIGN STRENGTH PSI	CONCRETE TYPE
FOOTINGS	2500	4000	5 1/2 SACK W/C<.45
WALLS	2500	4000	5 1/2 SACK W/C<.45
SLAB ON GRADE	2500	4000	5 1/2 SACK W/C<.45

- CONTRACTOR MAY USE AN ADMIXTURE SYSTEM TO PRODUCE FLOWABLE CONCRETE. MAXIMUM SLUMP SHALL NOT EXCEED 10 INCHES MEASURED AT THE PUMP. THE WATER/CEMENTIOUS MATERIAL RATIO OF THE APPROVED MIXES SHALL BE MAINTAINED OR LOWERED WHEN FLOWABLE CONCRETE IS USED. A REPRESENTATIVE OF THE ADMIXTURE SYSTEM SHALL ASSIST IN DETERMINING PROPORTIONS FOR FLOWABLE CONCRETE AND SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO EMPLOYING THIS PROCEDURE.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT PLACED IN CAST-IN-PLACE CONCRETE:

A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
B. CONCRETE EXPOSED TO EARTH OR WEATHER: #6 THROUGH #18 BARS #5 BAR, W31 OR D31 WIRE, AND SMALLER	2" 1 1/2"
C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS: #14 AND #18 BARS #11 BARS AND SMALLER BEAMS, COLUMNS: PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS SHELLS, FOLDED PLATE MEMBERS: #6 BAR AND LARGER #5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2" 3/4" 1 1/2" 3/4" 1/2"

- BASE PLATE GROUT SHALL BE NON-SHRINK TYPE WITH F'c=7000 PSI, GRADE B, CONFORMING TO ASTM C-1107.
- PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 304 AND THE CONTRACT DOCUMENTS. SANDBLAST ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.
- PROJECTING CORNERS OF BEAMS, WALLS, COLUMNS, ETC., SHALL BE FORMED WITH A 3/4 INCH CHAMFER, UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL DRAWINGS.
- ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. REINFORCING SHALL NOT BE CUT. CORING OF CONCRETE IS NOT PERMITTED EXCEPT AS INDICATED.
- CONDUIT OR PIPE SIZE (O.D.) SHALL NOT EXCEED ONE THIRD OF THE SLAB THICKNESS AND SHALL BE PLACED BETWEEN THE TOP AND BOTTOM REINFORCING, UNLESS SPECIFICALLY DETAILED OTHERWISE. CONCENTRATIONS OF CONDUIT OR PIPES SHALL BE AVOIDED EXCEPT WHERE DETAILED OPENINGS ARE PROVIDED.

CURING COMPOUNDS USED ON CONCRETE TO RECEIVE A FINISH SHALL BE APPROVED BY THE FINISH APPLICATOR BEFORE USE.

REINFORCING STEEL

- REINFORCING STEEL SHALL BE DETAILED, INCLUDING HOOKS AND BENDS, AND PLACED IN ACCORDANCE WITH ACI 315 AND ACI 318.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615 OR A-706, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
- REINFORCING SPLICES SHALL BE MADE AS INDICATED ON THE DRAWINGS.
- DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE AND SPACING AS THE VERTICAL REINFORCING, RESPECTIVELY, UNLESS OTHERWISE NOTED.
- PROVIDE #4 x 2'-0" DIAGONAL BAR AT ALL REENTRANT CORNERS OF CONCRETE SLABS ON GRADE.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED AND REVIEWED BY THE STRUCTURAL ENGINEER.
- WELDING OF REINFORCEMENT SHALL BE WITH LOW HYDROGEN ELECTRODES IN CONFORMANCE WITH ACI 318-83 AND THE RECOMMENDATIONS OF THE AMERICAN WELDING SOCIETY, AWS D1.4 AND WITH THE REVIEW OF THE STRUCTURAL ENGINEER.
- PROVIDE SHOP DRAWINGS FOR REINFORCING FOR CONCRETE BEAMS AND GRADE BEAMS.

ANCHORAGE

- EXPANSION SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633, AND CONFORM WITH FS FF-S-325, GROUP II, TYPE 4, CLASS 1.
- SLEEVE ANCHORS SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633, AND CONFORM WITH FS FF-S-325, GROUP II, TYPE 3, CLASS 3.
- FLUSH SHELL ANCHORS SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633, AND CONFORM WITH FS-FF-S-325, GROUP VIII, TYPE 1.
- ADHESIVE ANCHORS SHALL CONSIST OF ALL-THREAD ANCHOR ROD, NUT, WASHER, AND EPOXY INJECTION GEL OR ADHESIVE CAPSULE SYSTEM. ANCHOR RODS SHALL BE MANUFACTURED FROM A-36 MATERIAL, ZINC PLATED IN ACCORDANCE WITH ASTM B633.
- ALL RELATED PRODUCTS, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- NOTATIONS ON DRAWINGS RELATING TO EXPANSION, SLEEVE, FLUSH, OR ADHESIVE ANCHORS AND OTHER CONNECTING DEVICES REFER TO CONNECTORS MANUFACTURED BY POWERS FASTENING, INC. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THAT THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES AND ARE REVIEWED BY THE STRUCTURAL ENGINEER.

STRUCTURAL STEEL, MISC. METAL

- STRUCTURAL STEEL DETAILING, FABRICATION AND ERECTION SHALL BE BASED ON THE LATEST EDITION AND SUPPLEMENTS OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN". STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS.
- | TYPE OF MEMBER | ASTM SPECIFICATION | Fy |
|---|--------------------|--------|
| PLATES, SHAPES, ANGLES, AND RODS | A36 (UON) | 36 KSI |
| HOLLOW STRUCTURAL SECTIONS (ROUND, SQUARE OR RECTANGLE) | A500 (GRADE B) | 46 KSI |
| ANCHOR RODS (EMBEDDED IN CONCRETE) | A307 (UON) | |
| CONNECTION BOLTS (STEEL TO STEEL) | A325 (UON) | |
| CONNECTION BOLTS (STEEL TO WOOD) | A307 (UON) | |

- WELDED HEADED STUDS SHALL BE NELSON GRANULAR FLUX-FILLED STUDS OR AN APPROVED EQUAL.
- THE STRUCTURAL STEEL FABRICATOR SHALL FURNISH SHOP DRAWINGS FOR REVIEW BEFORE FABRICATION.
- ALL WELDS SHALL BE PREQUALIFIED IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WELDERS WABO CERTIFIED. USE E70XX ELECTRODES.
- WELD LENGTHS CALLED FOR ON THE PLANS ARE THE NET EFFECTIVE LENGTH REQUIRED. WELD SIZE SHALL BE AISC MINIMUM, UNLESS OTHERWISE NOTED.

WOOD

- FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLB STANDARD GRADING AND DRESSING RULES FOR WEST COAST LUMBER NO. 16, LATEST EDITION. UNLESS OTHERWISE NOTED ON THE DRAWINGS, LUMBER GRADES SHALL BE AS FOLLOWS:
 - JOISTS: 2 INCH AND 3 INCH THICKNESS, HEM FIR NO. 1.
 - BEAMS AND STRINGERS: DOUGLAS FIR NO. 2.
 - POST AND TIMBERS: DOUGLAS FIR NO. 12.
 - PLATES AND MISCELLANEOUS LIGHT FRAMING: HEM FIR STANDARD.
 - STUDS: HEM FIR STUD.

MINIMUM NAILING REQUIREMENTS:
UNLESS OTHERWISE NOTED, MINIMUM NAILING SHALL CONFORM TO IBC-TABLE 2304.10.1 AND AS FOLLOWS:

A. JOISTS OR RAFTERS TO SIDES OF STUDS 8 INCH OR LESS	3-16D
B. FOR EACH ADDITIONAL 4 INCH IN DEPTH OF JOISTS	1-16D
C. JOISTS OR RAFTERS AT ALL BEARINGS-TOENAILS EACH SIDE	2-10D
D. STUDS TO BEARING - TOENAILS EACH SIDE	2-10D
E. BLOCKING BETWEEN JOISTS OR RAFTERS: TO JOIST OR RAFTER-TOENAILS EACH SIDE EACH END TO JOIST OR RAFTER BEARINGS-TOENAILS EACH SIDE	2-10D 2-10D
F. CROSS-BRIDGING BETWEEN JOISTS OR RAFTERS TOENAILS EACH END	2-8D
G. BLOCKING BETWEEN STUDS - TOENAILS EACH END	2-10D
H. DOUBLE TOP PLATES - LOWER PLATE TO TOP OF STUD	2-16D
J. UPPER TO LOWER PLATE - STAGGERED	16D @ 16" OC
K. WALL TOP PLATE SPLICE - STAGGERED	8-16D
L. MULTIPLE JOISTS - STAGGERED	16D @ 12" OC
M. MULTIPLE JOISTS - STAGGER FOR WIDTHS MORE THAN 4 INCHES	16D @ 12" OC

- INDIVIDUAL MEMBERS OF BUILT-UP POSTS AND BEAMS SHALL EACH BE ATTACHED WITH 16D SPIKES AT 12" OC STAGGERED, MIN.
- ALL NAILS SHALL BE COMMON WIRE NAILS. WHENEVER POSSIBLE, NAILS DRIVEN PERPENDICULAR TO THE GRAIN SHALL BE USED. THERE SHALL BE A MINIMUM OF 2 NAILS AT ALL WOOD CONTACTS AND JOINTS USING 8D NAILS FOR 1 INCH THICK MATERIAL, 16D NAILS FOR 2 INCH THICK MATERIAL, AND 40D NAILS FOR 3 INCH THICK MATERIAL. ALL CONTINUOUS CONTACTS PROVIDE MINIMUM NAILS AT 12" OC WITH NAIL SIZES AS CALLED ABOVE.
- NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS, AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF STRONG-TIE CONNECTORS MANUFACTURED BY THE SIMPSON COMPANY. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THAT THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES AND ARE REVIEWED BY THE STRUCTURAL ENGINEER.
- AT SAWN TIMBER JOISTS WITH THICKNESS-TO-DEPTH RATION OF 1:6 AND GREATER, PROVIDE CROSS-BRIDGING AT 8'-0" OC. AND SOLID BLOCKING AT BEARING POINTS.
- ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE GOVERNING CODE.
- ALL BEARING AND EXTERIOR STUD WALLS SHALL BE 2x6 @ 16" OC UNLESS OTHERWISE NOTED.
- PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHTS AND AT INTERVALS NOT TO EXCEED 8'-0" OF ALL STUD-BEARING WALLS OVER 8'-0" IN HEIGHT.
- ALL CANTS AND CRICKETS SHALL BE PLACED OVER BASIC ROOF SHEATHING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS AND LOCATIONS.
- ALL WOOD STUD WALL SILL PLATES SHALL BE ATTACHED TO CONCRETE OR MASONRY WITH 5/8 INCH DIAMETER ANCHOR BOLTS AT 48" OC, UNLESS OTHERWISE NOTED.
- ALL WOOD STUD WALLS SHALL HAVE LOWER WOOD PLATE ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 6" OC STAGGERED UNLESS SHOWN OTHERWISE.
- FASTEN ALL POSTS TO CONCRETE WITH "CB" COLUMN BASE OR EQUAL UNLESS OTHERWISE NOTED.
- ALL WOOD PLATES AND BLOCKING IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED WITH AN APPROVED PRESERVATIVE IN ACCORDANCE WITH AWPS-FDN, AND BEAR THAT QUALITY MARK.
- PROVIDE 3x3x.225" PLATE WASHERS UNDER ALL ANCHOR BOLT NUTS IN CONTACT WITH WOOD.
- ATTACH TIMBER JOISTS TO FLUSH HEADERS AND BEAMS WITH "U" SERIES METAL JOIST HANGERS TO SUIT THE JOIST SIZE.
- ALL PLYWOOD SHALL BE DOUGLAS FIR, STRUCTURAL II AND SHALL CONFORM TO APA C-D INTERIOR GRADE WITH EXTERIOR GLUE AND WITH PRODUCT STANDARD PS1. WOOD-BASED STRUCTURAL-USE PANELS SHALL CONFORM WITH PRODUCT STANDARD PS2.
- PANEL TYPE AND NAILING, USE UNLESS OTHERWISE NOTED:

FLOOR:	1 1/2" T&G APA RATED PANELS 10d @ 4" OC AT ALL SUPPORTED EDGES. 10d @ 12" OC AT INTERMEDIATE BEARING POINTS.
ROOF:	5/8" PW APA RATED PANELS 10d @ 4" OC AT SUPPORTED SHEET EDGES. 10d @ 12" OC AT INTERMEDIATE BEARING POINTS.
WALLS:	1 3/4" APA RATED PANELS 10d @ 6" OC AT SHEET EDGES UNLESS NOTED OTHERWISE ON SHEAR WALL SCHEDULE. 10d @ 12" OC AT INTERMEDIATE BEARING POINTS.

PLYWOOD AND WOOD-BASED STRUCTURAL-USE PANELS USED FOR WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL EDGES.

MACHINE APPLIED NAILING IS SUBJECT TO A SATISFACTORY DEMONSTRATION AND THE APPROVAL OF THE CHECKING AGENCY AND THE ARCHITECT. NAIL HEADS SHALL NOT PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND HAMMER. EDGE DISTANCES SHALL BE MAINTAINED. SHINERS SHALL BE REMOVED AND REPLACED. THE APPROVAL IS SUBJECT TO CONTINUED SATISFACTORY PERFORMANCE. MACHINE APPLIED NAILING ONLY ON PLYWOOD GREATER THAN 5/16".

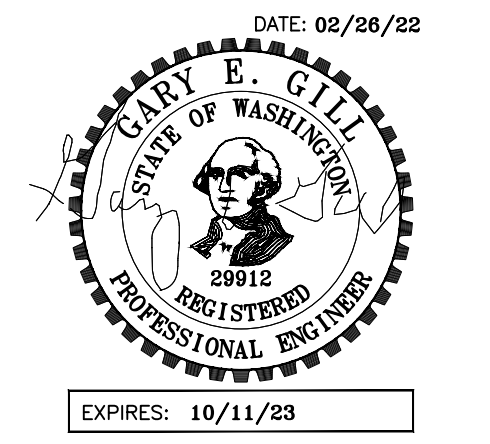
PREFABRICATED WOOD ASSEMBLIES

- PREFABRICATED WOOD JOISTS, BEAMS AND TRUSSES SHALL BE SUPPLIED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, PRENOTCHED PLATES, BRACING, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER.
- PROVIDE ERECTION DRAWINGS SHOWING ALL MEMBERS, HANGERS AND ACCESSORIES TO BE PROVIDED. PROVIDE CALCULATIONS SHOWING THAT THE PERFORMANCE CRITERIA BELOW IS MET OR EXCEEDED AND THAT ALL MEMBERS ARE STRESSED AT OR BELOW NDS STANDARDS.
- ALL REQUIRED SUBMITTALS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON.
- PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATION.
- ALL STRUCTURAL SYSTEMS THAT ARE COMPOSED OF COMPONENTS TO BE FIELD ERRECTED SHALL BE ERECTED IN ACCORDANCE WITH THE INSTRUCTIONS PREPARED BY THE SUPPLIER.
- PREFABRICATED WOOD JOISTS BEAMS AND TRUSSES SHALL BE MANUFACTURED BY TRUS-JOIST CORPORATION, REDBULL OR AN "APPROVED EQUAL."
- PERFORMANCE CRITERIA

	DEPTH	SPACING	FLOOR RATING
FLOOR JOISTS	AS NOTED	AS NOTED	TJ RATING 55 OR EQUIV
ROOF JOISTS	AS NOTED	AS NOTED	TL DEFL = L/360 MAX
- ALL PREFABRICATED MEMBERS SHALL BE DESIGN USING THE DEAD, LIVE AND SNOW LOADS SHOWN UNDER DESIGN LOADS ELSEWHERE IN THESE GENERAL NOTES.

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WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:

FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

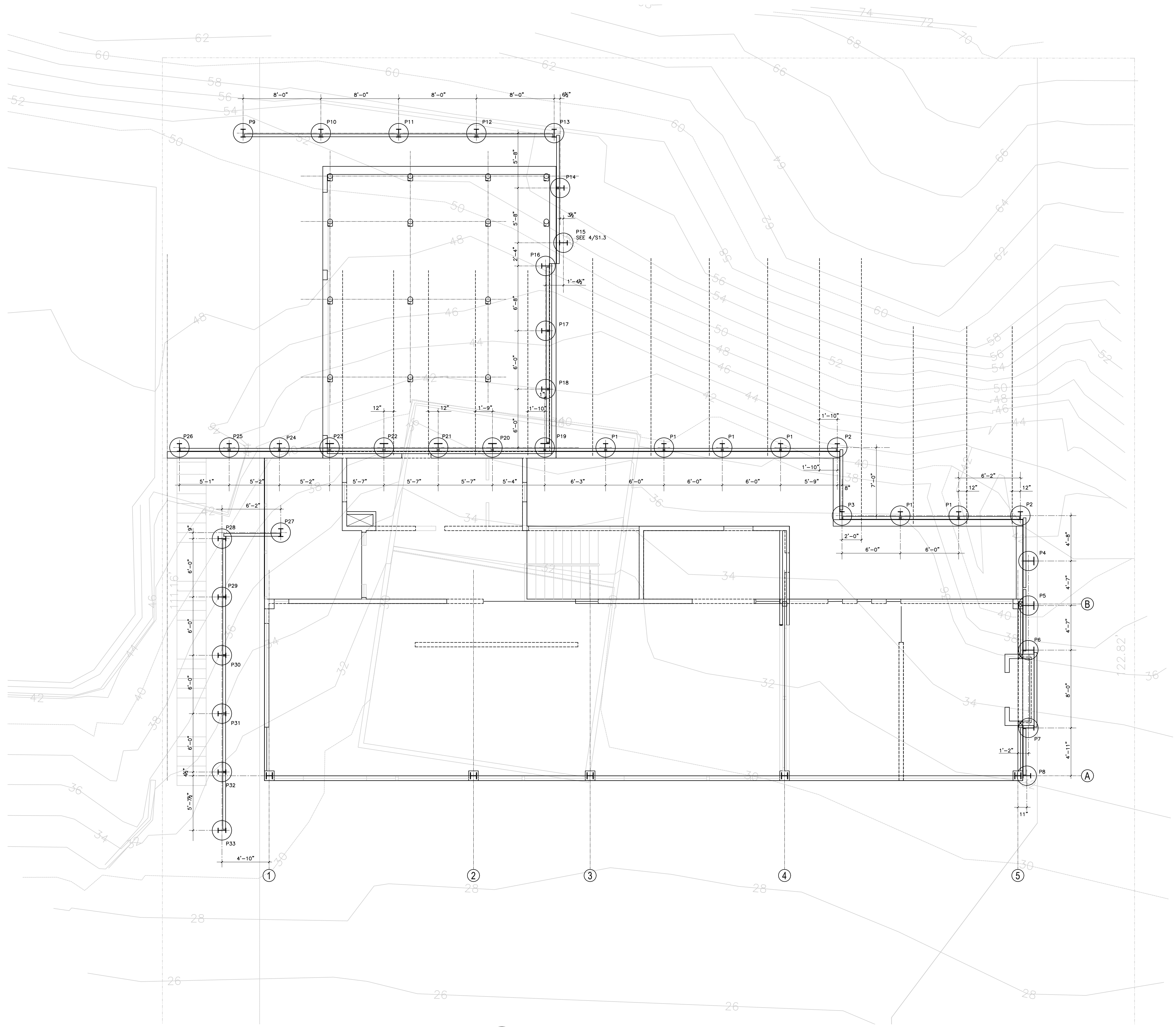
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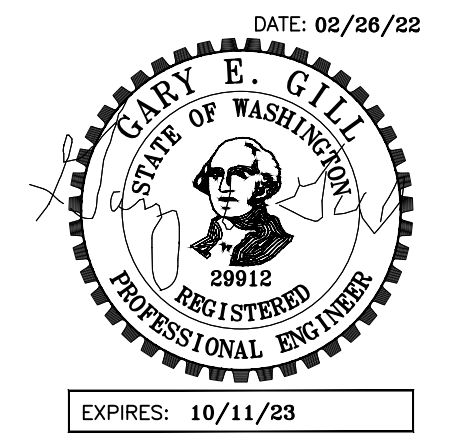
SHEET TITLE:
STRUCTURAL NOTES

& ABBREVIATIONS



① SHORING PLAN

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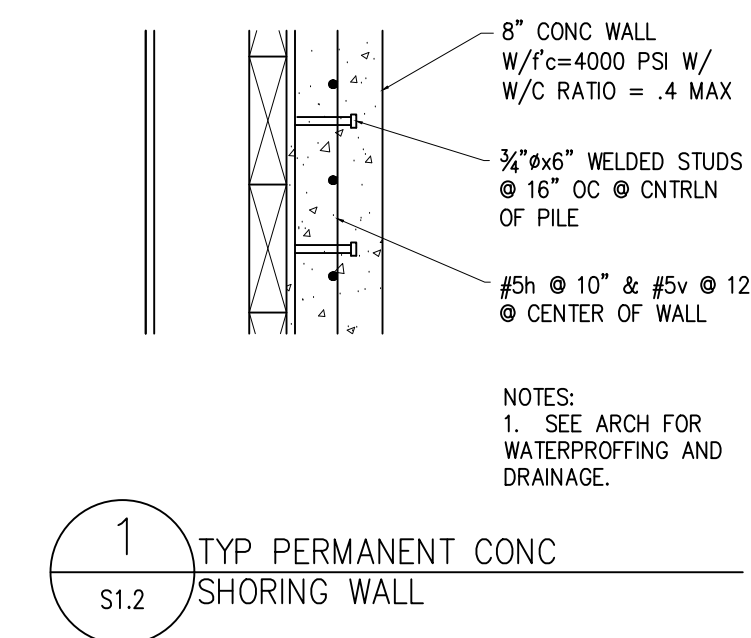
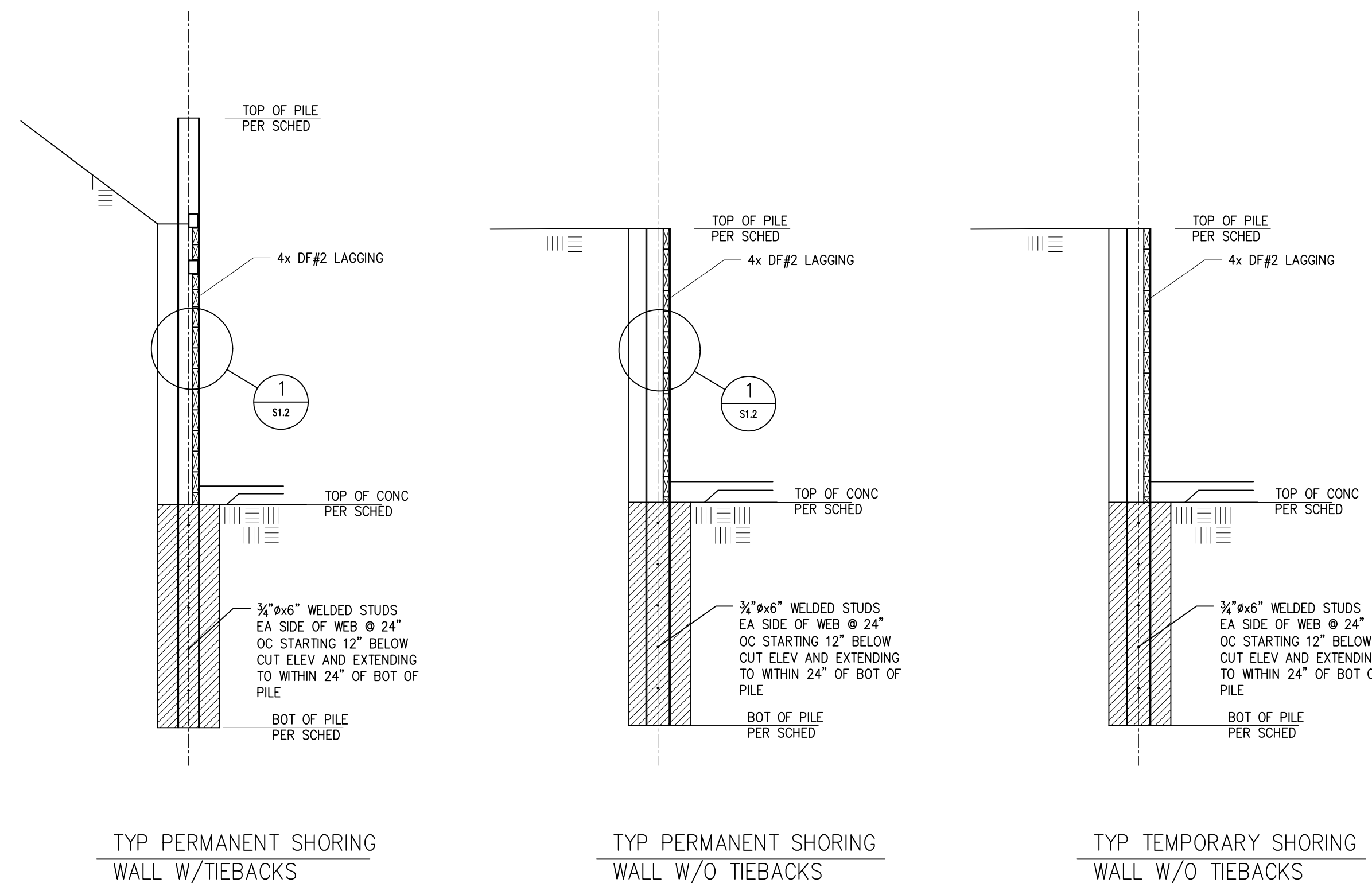
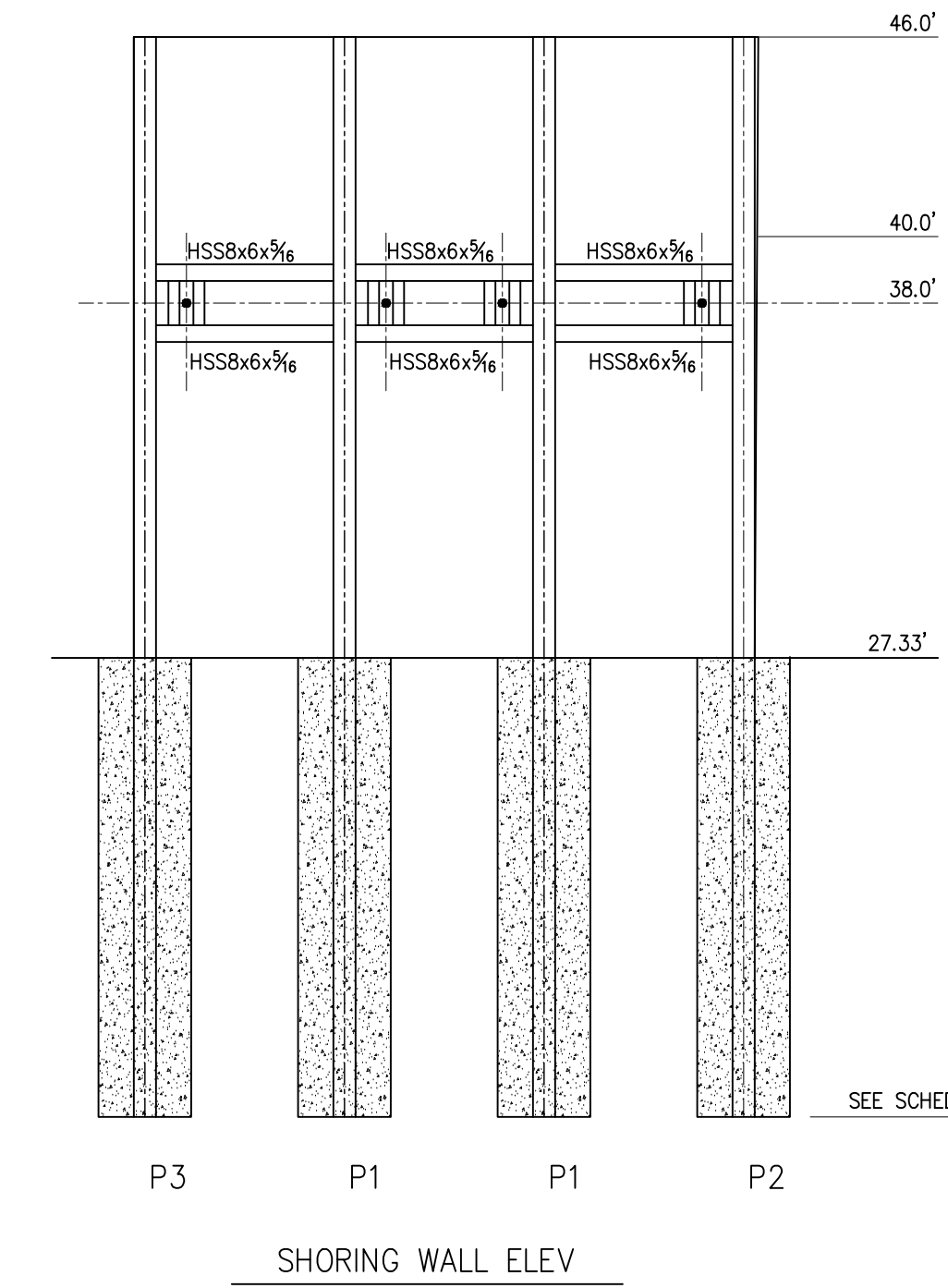
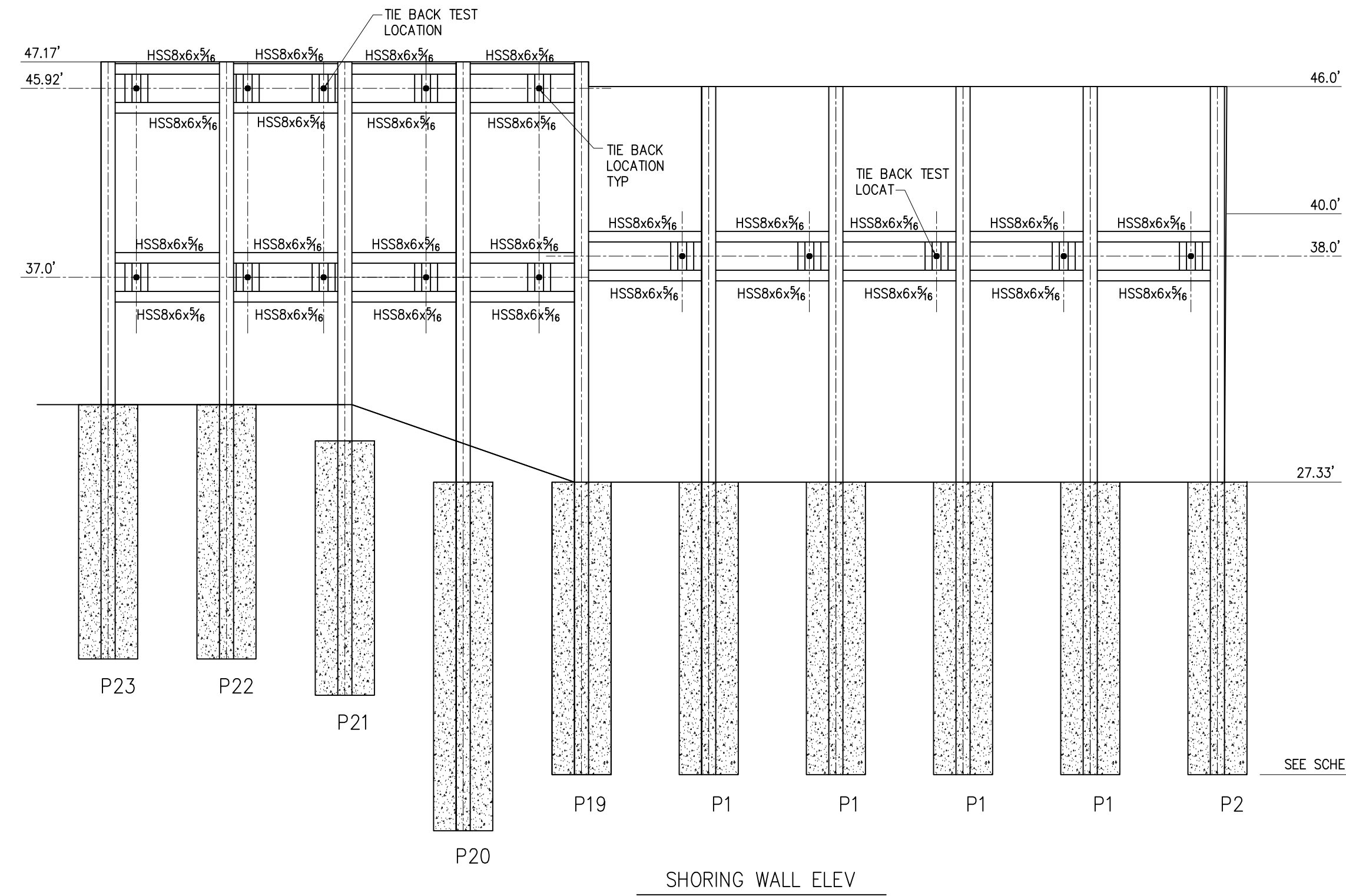
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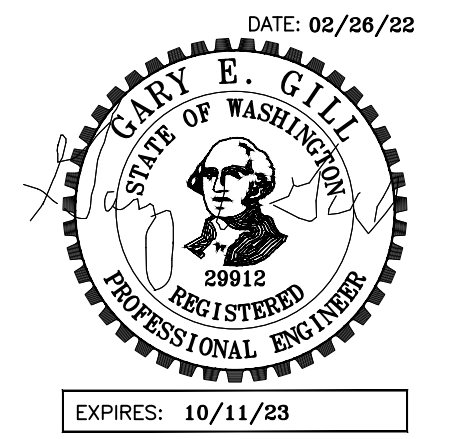
SHEET TITLE:
 SHORING PLAN

SHEET:
 S1.1



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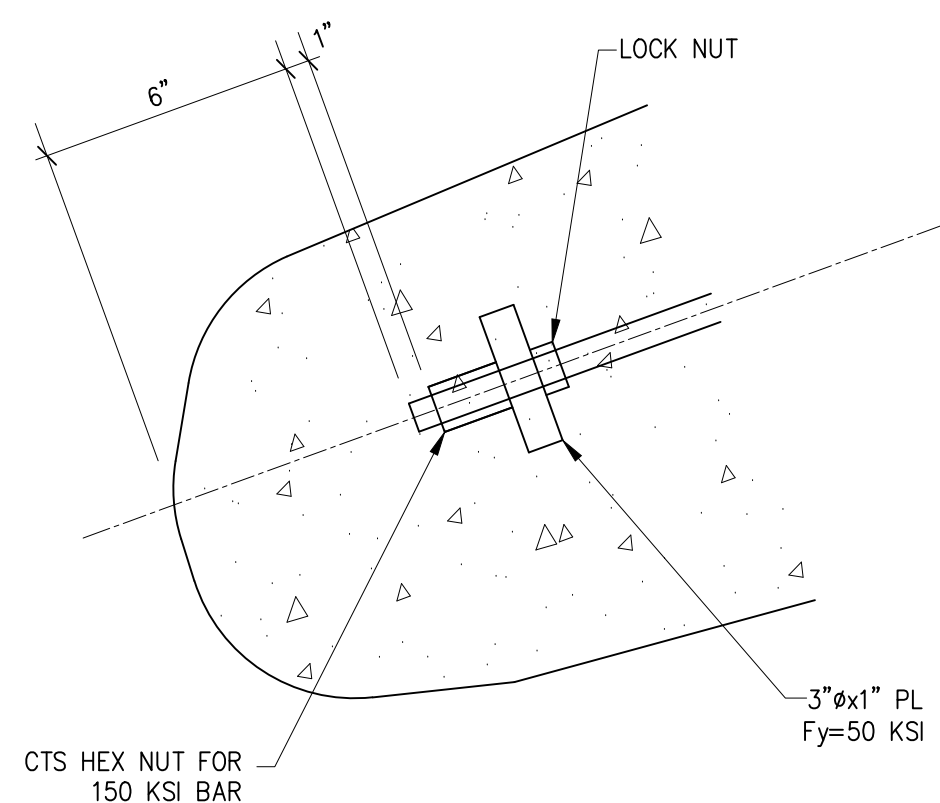
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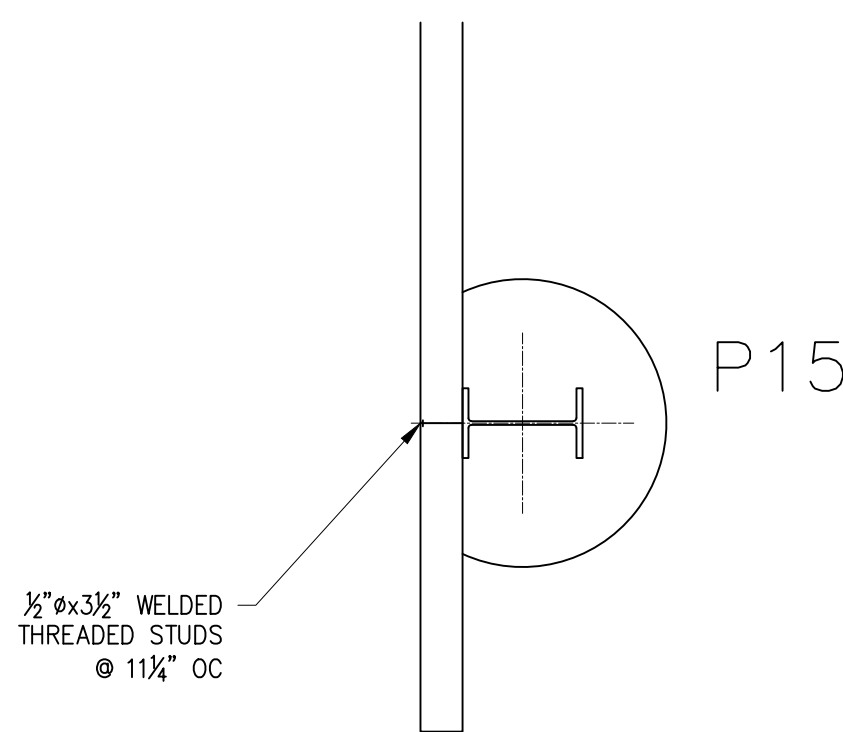
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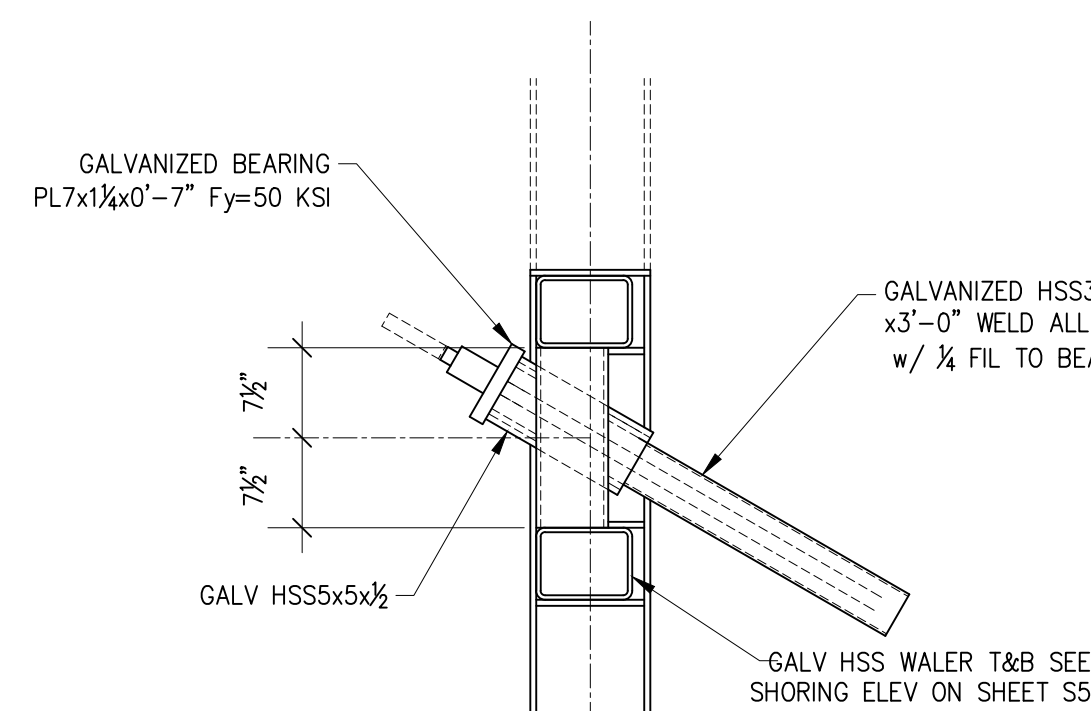
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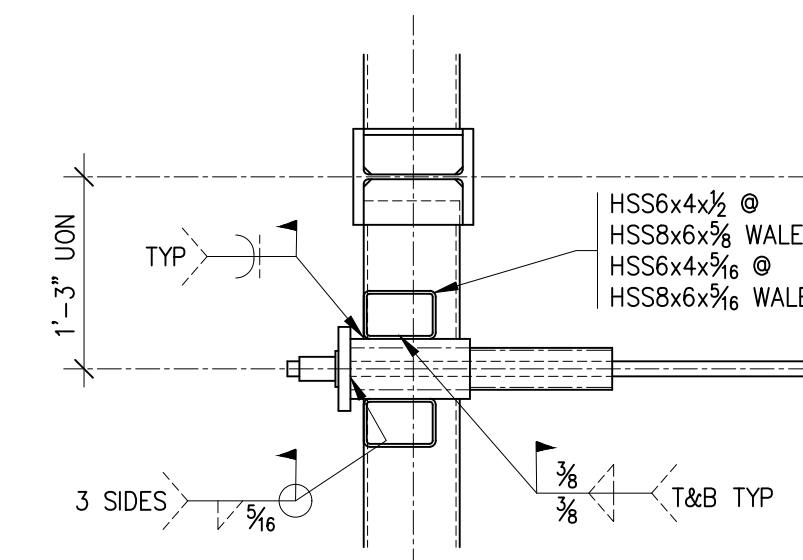
5 SECTION
S1.3 SCALE: 3/4" = 1'-0"



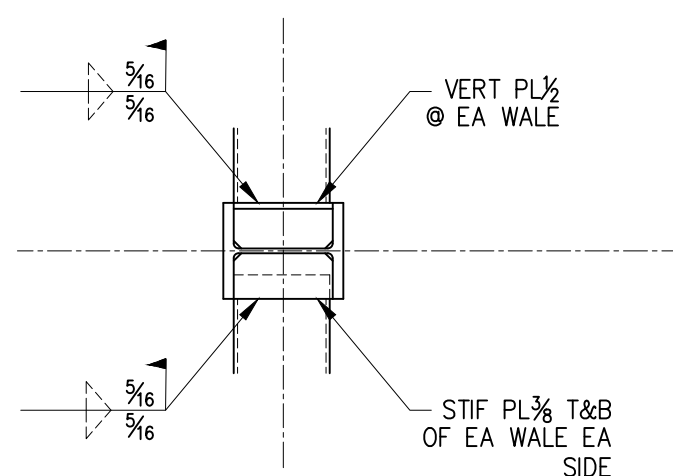
4 SECTION
S1.3 SCALE: 3/4" = 1'-0"



10 SECTION
S1.3 SCALE: 3/4" = 1'-0"



15 SECTION
S4.3 SCALE: 3/4" = 1'-0"



20 SECTION
S4.3 SCALE: 3/4" = 1'-0"

SOLDIER PILE SCHEDULE						
MARK	SIZE	TOP OF PILE	TOP OF CONC	BOT OF PILE	UPPER TIE BACK	LOWER TIE BACK
P1	W10x39	48'-0"	27'-4"	13'-6"	T1	NONE
P2	W10x39	48'-0"	27'-4"	13'-6"	T1	NONE
P3	W10x39	48'-0"	27'-4"	13'-6"	T2	NONE
P4	W14x61	42'-0"	27'-4"	10'-0"	NONE	NONE
P5	W14x61	41'-0"	26'-6"	9'-4"	NONE	NONE
P6	W14x43	40'-0"	26'-6"	11'-4"	NONE	NONE
P7	W14x26	37'-0"	26'-6"	15'-4"	NONE	NONE
P8	W10x12	34'-0"	26'-6"	19'-0"	NONE	NONE
P9	W10x12	52'-0"	47'-2"	41'-6"	NONE	NONE
P10	W10x12	53'-0"	47'-2"	39'-3"	NONE	NONE
P11	W10x15	54'-0"	47'-2"	37'-8"	NONE	NONE
P12	W10x22	56'-0"	47'-2"	36'-0"	NONE	NONE
P13	W10x22	56'-0"	47'-2"	36'-0"	NONE	NONE
P14	W10x15	56'-0"	47'-2"	38'-0"	NONE	NONE
P15	W10x12	53'-0"	47'-2"	39'-9"	NONE	NONE
P16	W10x12	47'-2"	44'-0"	38'-6"	NONE	NONE
P17	W10x19	47'-2"	40'-6"	30'-3"	NONE	NONE
P18	W10x39	47'-2"	38'-6"	26'-6"	NONE	NONE
P19	W10x60	47'-2"	27'-4"	13'-4"	T3	T4
P20	W10x60	47'-2"	27'-4"	10'-9"	T3	T4
P21	W10x60	47'-2"	29'-8"	17'-4"	T3	T4
P22	W10x60	47'-2"	31'-0"	19'-0"	T3	T4
P23	W10x60	47'-2"	31'-0"	19'-0"	T3	T4
P24	W10x68	48'-0"	38'-0"	23'-9"	NONE	NONE
P25	W10x68	48'-0"	38'-0"	23'-9"	NONE	NONE
P26	W10x22	48'-0"	40'-0"	30'-0"	NONE	NONE
P27	W10x26	40'-0"	26'-6"	15'-9"	NONE	NONE
P28	W10x33	40'-0"	26'-6"	15'-0"	NONE	NONE
P29	W10x77	40'-0"	26'-6"	15'-0"	NONE	NONE
P30	W10x54	37'-0"	26'-6"	13'-0"	NONE	NONE
P31	W10x30	36'-0"	26'-6"	15'-9"	NONE	NONE
P32	W10x15	34'-0"	26'-6"	18'-9"	NONE	NONE
P33	W10x12	32'-0"	26'-6"	21'-0"	NONE	NONE

19 SOLDIER PILE AND TIE BACK SCHEDULES
S1.3 SCALE: 3/4" = 1'-0"

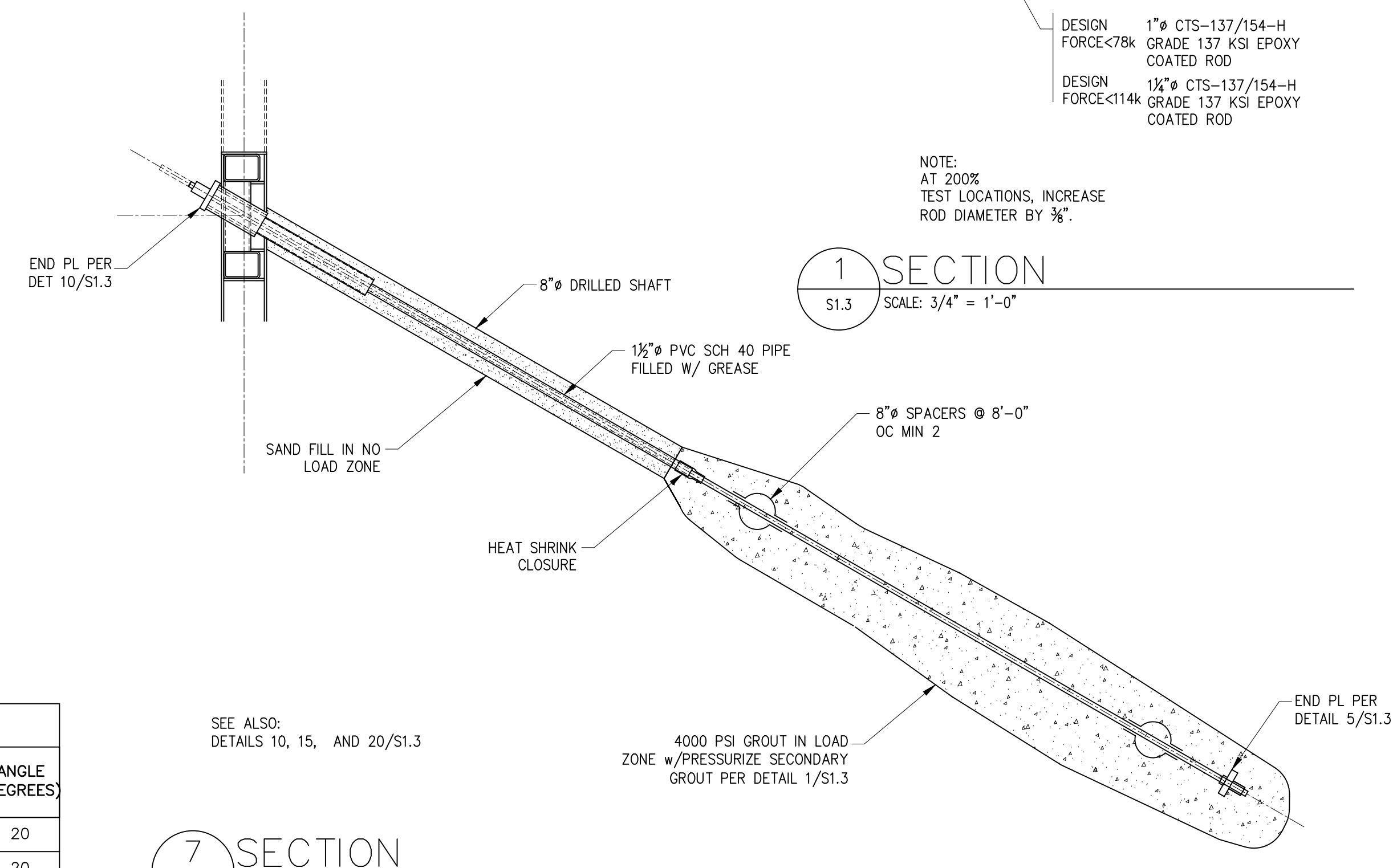
TIE BACK SCHEDULE					
MARK	ELEVATION	L1 (NO LOAD ZONE)	L2 (LOAD ZONE)	DESIGN FORCE (kips)	ANGLE (DEGREES)
T1	38'-0"	9'-0"	12'-0"	31.8	20
T2	38'-0"	16'-0"	12'-0"	31.8	20
T3	45'-11"	15'-0"	10'-0"	22.6	30
T4	37'-0"	10'-0"	10'-0"	28.1	30

TIE BACK INSTALLATION AND TESTING

- TWO PRODUCTION TIE BACKS SHALL BE TESTED TO 200% OF THE DESIGN LOAD. THE TWO TIE BACKS TO BE TESTED ARE INDICATED ON THE SHORING ELEVATIONS.
- FOR THE TWO 200% TIE BACK TESTS, APPLY THE TEST LOADS IN 10 KIP INCREMENTS AND HOLD THE LOAD AT EACH INCREMENT FOR 5 MINUTES. HOLD THE FINAL LOAD FOR 30 MINUTES. MEASUREMENTS OF THE TIE ROD MOVEMENT SHALL BE ACCURATELY RECORDED THROUGHOUT THE TESTING PERIOD. A LINEAR OR NEAR LINEAR RELATIONSHIP BETWEEN THE APPLIED LOADS AND TIE ROD MOVEMENT WILL INDICATE A SUCCESSFUL ANCHOR TEST. REDUCE THE LOAD ON THE TIE BACK TO THE DESIGN LOAD AND LOCK IT OFF.
- ALL TIEBACKS EXCEPT THOSE TESTED TO 200% SHALL BE LOADED TO 130% OF THE DESIGN LOAD AND HELD AT THAT LOAD FOR AT LEAST 5 MINUTES. AN ANCHOR WILL BE CONSIDERED ACCEPTABLE PROVIDED THE FOLLOWING CRITERIA IS MET:
 - THE TOTAL MOVEMENT OBTAINED FROM THE PERFORMANCE AND PROOF TESTS EXCEEDS 80 PER CENT OF THE THEORETICAL ELASTIC ELONGATION OF THE DESIGN FREE STRESSING LENGTH.
 - THE CREEP RATE DURING THE FINAL TEST LOAD DOES NOT EXCEED 0.040 INCH PER LOG CYCLE OF TIME FOR PROOF TESTS AND IS LINEAR OR DECREASING CREEP RATE, REGARDLESS OF TENDON LENGTH AND LOAD. OTHERWISE, THE ANCHOR SHOULD BE HELD FOR AN ADDITIONAL 60 MINUTES AT THE REQUIRED TEST LOAD TO A CREEP RATE LESS THAN 0.080 INCH PER LOG CYCLE OF TIME. PERFORMANCE TEST SHOULD NOT EXCEED A CREEP RATE OF 0.080 INCH PER LOG CYCLE OF TIME AFTER 60 MINUTES.
- AFTER TESTING IS COMPLETE, REDUCE THE LOAD ON THE TIE BACK TO THE DESIGN LOAD AND LOCK IT OFF.
- THE GEOTECH OF RECORD SHALL MONITOR ALL TIE BACK INSTALLATIONS AND TESTING.

SHORING NOTES:

- SUBMIT A DETAILED LAYOUT OF ALL SOLDIER PILE LOCATIONS SHOWING TOP OF PILE, TOP OF CONCRETE, BOTTOM OF PILE AND PROXIMITY TO BUILDING GRID AND WALLS. DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE A GUIDE CONVEYING SPACING INTENT AND GENERAL CONFIGURATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THAT SHORING SYSTEM AND WALLS ARE LOCATED SO THAT BUILDING DIMENSIONS AND LOCATION IS IN ACCORDANCE WITH THE DIMENSIONS PROVIDED IN THE ARCHITECTURAL DRAWINGS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONDUCT A DETAILED SURVEY OF EXISTING ADJACENT FACILITIES AND FEATURES SUCH AS STRUCTURES, SIDEWALKS, UTILITIES, ETC. TO DOCUMENT THE EXISTING CONDITION AND VERTICAL AND HORIZONTAL POSITION OF ALL SUCH FEATURES. AS A MINIMUM, SURVEY THE TOP OF EVERY OTHER SOLDIER PILE FOR VERTICAL AND HORIZONTAL DISPLACEMENT TWICE WEEKLY DURING SHORING INSTALLATION AND EXCAVATION. A LICENSED SURVEYOR, NOT THE CONTRACTOR, MUST DO THE SURVEYING AT LEAST ONCE A WEEK.
- ESTABLISH SURVEY LINES NEAR THE TOP OF THE WALL AND AT DISTANCES UP TO THE WALL HEIGHT, H, BEHIND THE WALL FACE. THESE POINTS SHALL BE SPACED NO FURTHER APART THAN THE DISTANCE BETWEEN THE NEAREST TWO ADJACENT SOLDIER PILES. MONITOR ANY ADJACENT OR NEARBY MOVEMENT OF SENSITIVE STRUCTURES OR FACILITIES. ALSO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD.
- SURVEY FREQUENCY CAN BE DECREASED AFTER THE COMPLETE SHORING SYSTEM HAS BEEN INSTALLED AND EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO MOVEMENT. DECREASING THE FREQUENCY OF MONITORING MUST BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD AND CITY OF MERCER ISLAND. SURVEYING MUST CONTINUE UNTIL THE STRUCTURE IS COMPLETE UNTIL THE UPPER FLOOR FRAMING DIAPHRAGM HAS BEEN INSTALLED AND COMPLETELY NAILED.
- SUBMIT SURVEY DATA TO THE GEOTECHNICAL ENGINEER OF RECORD, THE STRUCTURAL ENGINEER OF RECORD AND THE CITY OF MERCER ISLAND EACH WEEK. NOTIFY ALL THREE IMMEDIATELY IF ANY UNUSUAL OR SIGNIFICANT MOVEMENT OCCURS.
- AS A MINIMUM, NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD, THE STRUCTURAL ENGINEER OF RECORD AND THE CITY OF MERCER ISLAND IF CUMULATIVE DISPLACEMENT REACHES 1/2 INCH TOTAL OR IF MORE THAN 1/4 INCH DISPLACEMENT IS OBSERVED BETWEEN ANY TWO CONSECUTIVE READINGS. IF CUMULATIVE MOVEMENT REACHES 1 INCH CAUSES FOR THE MOVEMENT WILL BE DETERMINED BY THE ENGINEERS OF RECORD AND REMEDIAL MEASURES WILL BE IMPLEMENTED.



7 SECTION
S1.3 SCALE: 3/4" = 1'-0"

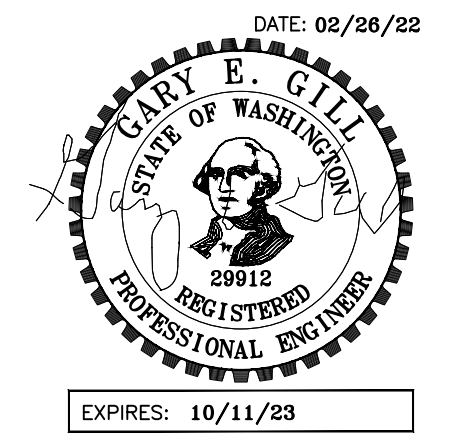
TERTIARY GROUT TUBE
SECONDARY GROUT TUBE
DESIGN FORCE < 78k 1" CTS-137/154-H GRADE 137 KSI EPOXY COATED ROD
DESIGN FORCE < 114k 1 1/2" CTS-137/154-H GRADE 137 KSI EPOXY COATED ROD

NOTE:
AT 200% TEST LOCATIONS, INCREASE ROD DIAMETER BY 3/8".

1 SECTION
S1.3 SCALE: 3/4" = 1'-0"

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PROJECT:
WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

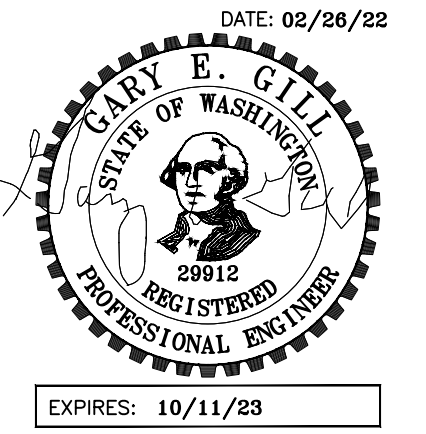
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DATE:
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SHEET TITLE:
SHORING SCHED

& DETAILS
SHEET:

S1.3



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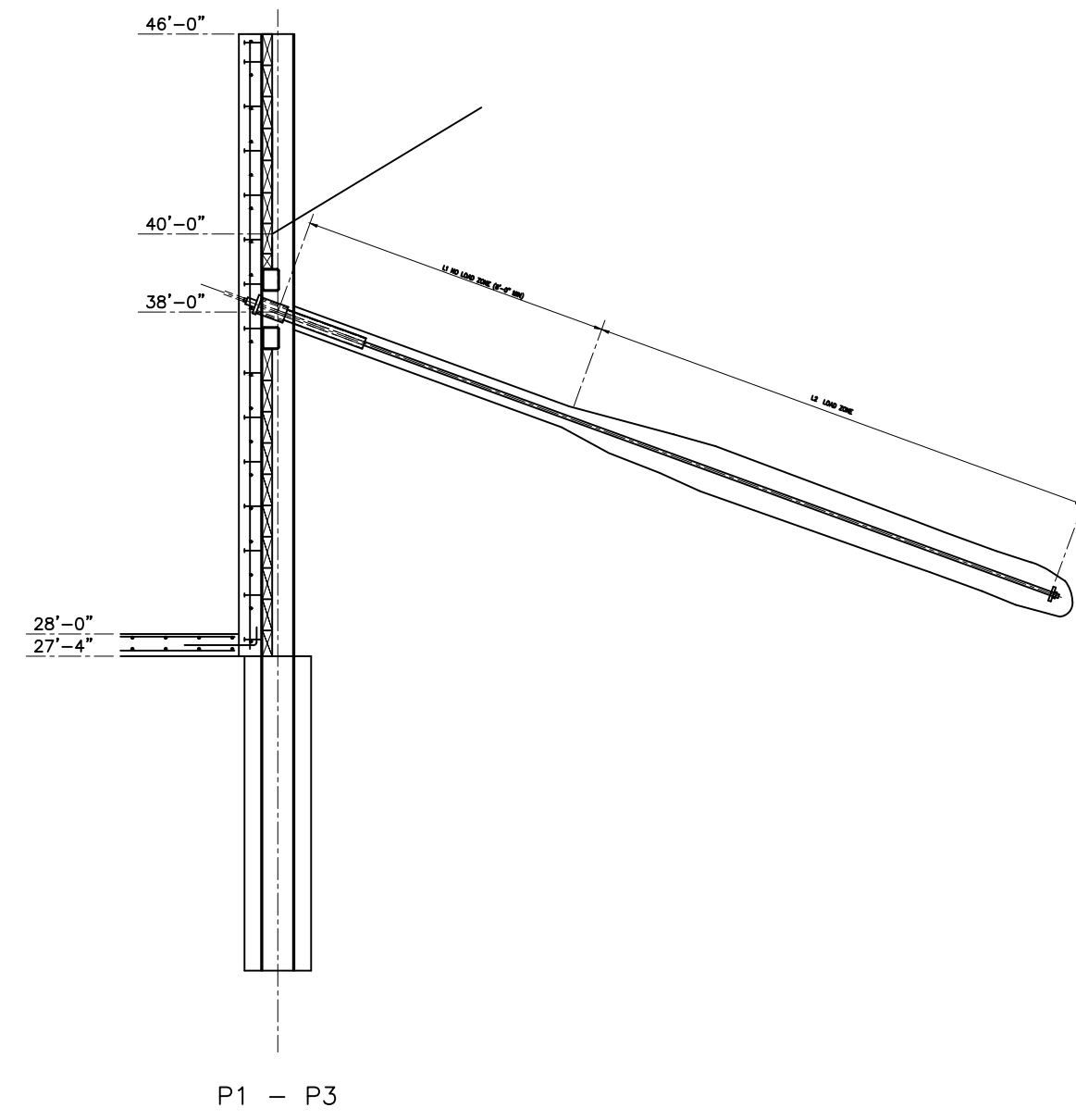
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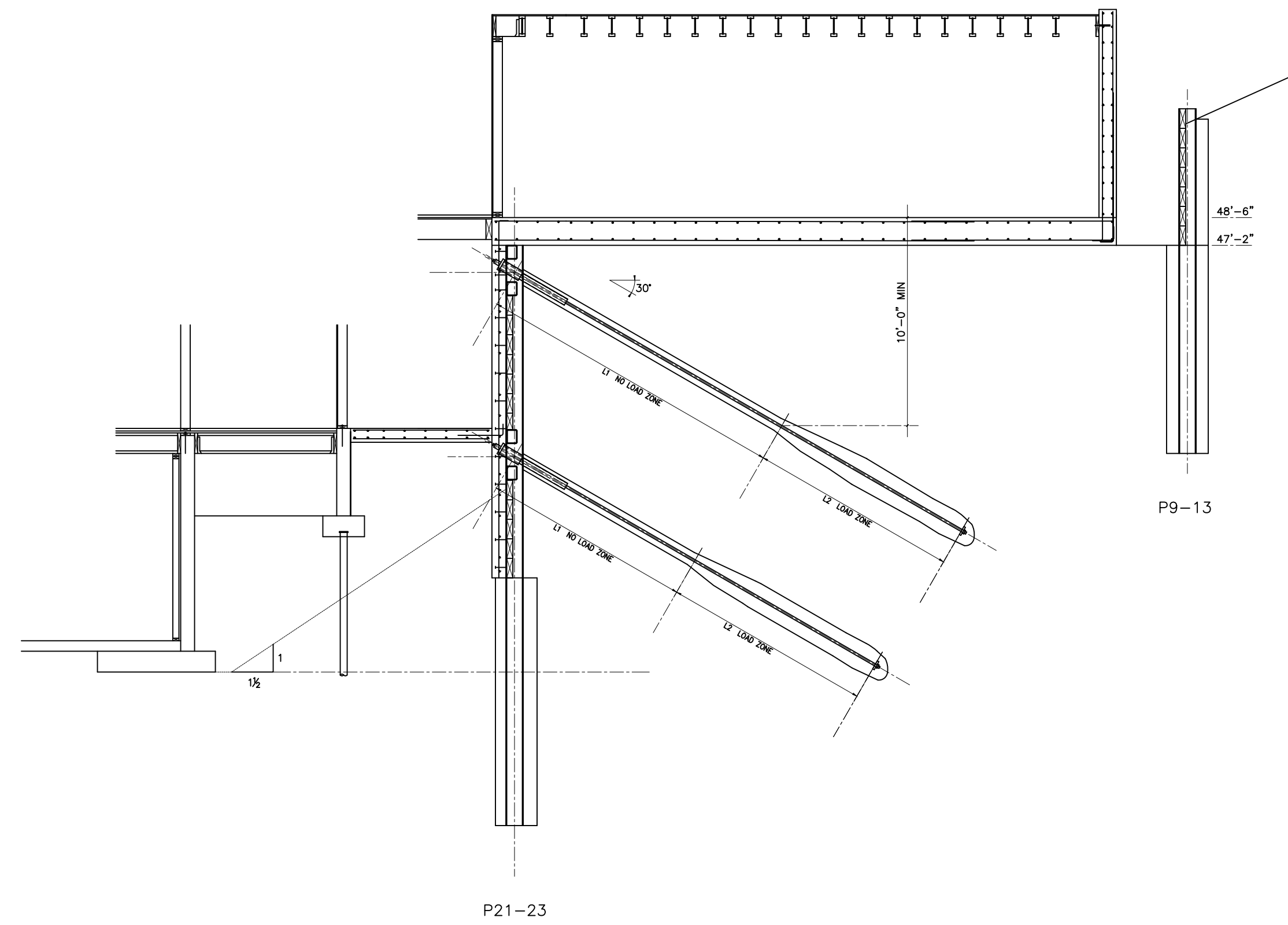
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SHEET TITLE:
 SHORING SECTIONS

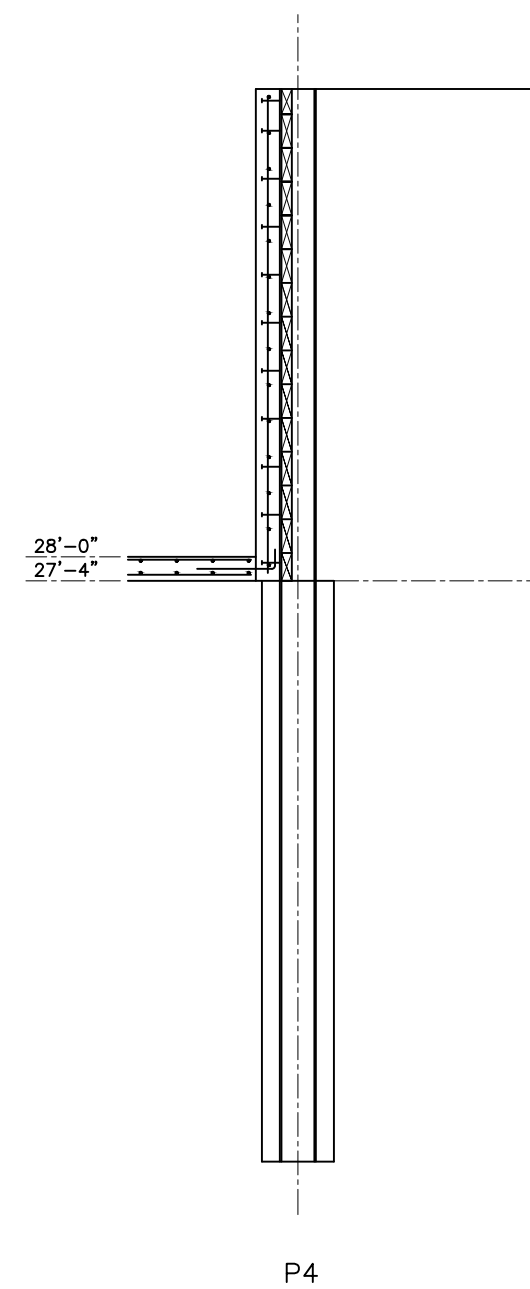
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S1.4



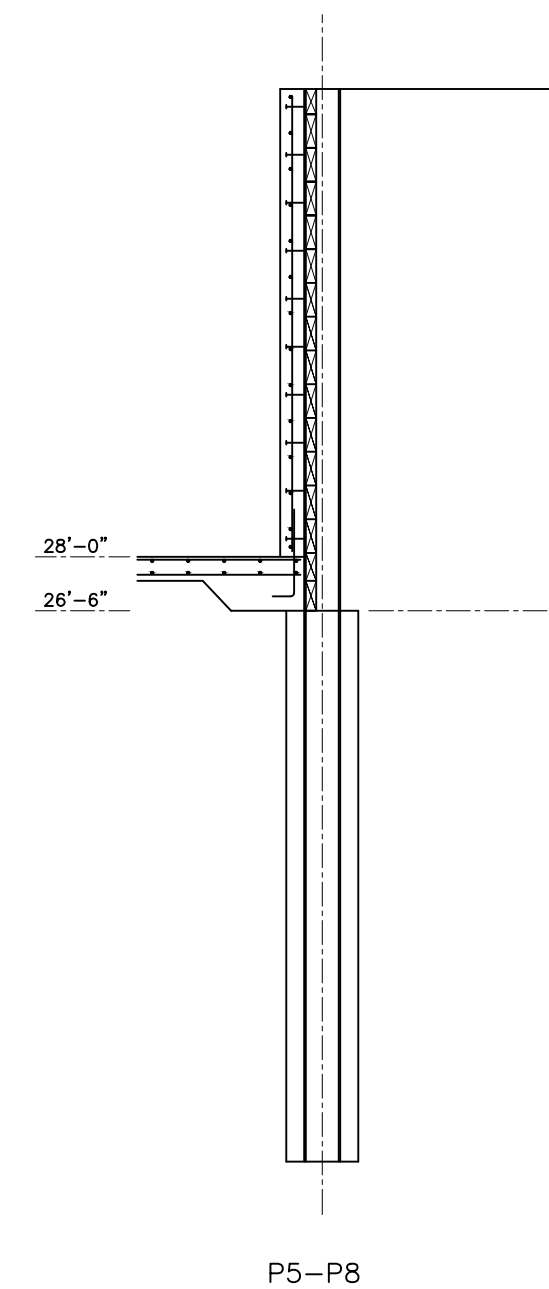
P1 - P3



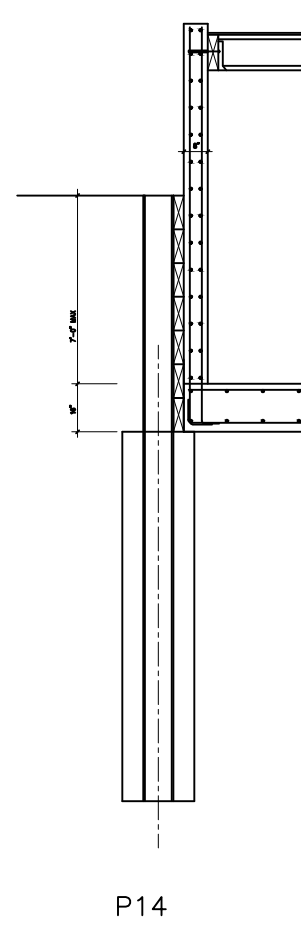
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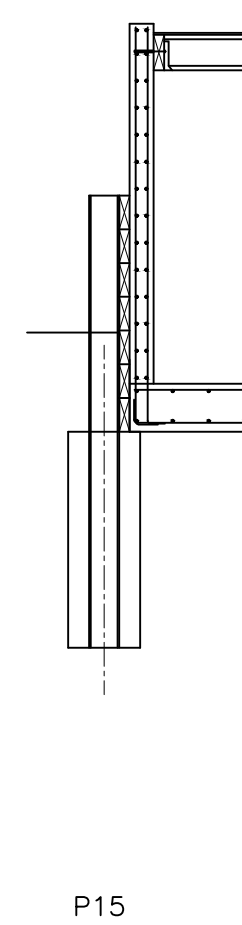
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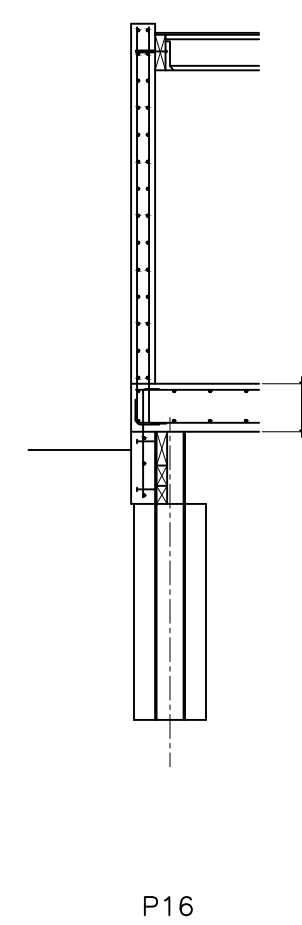
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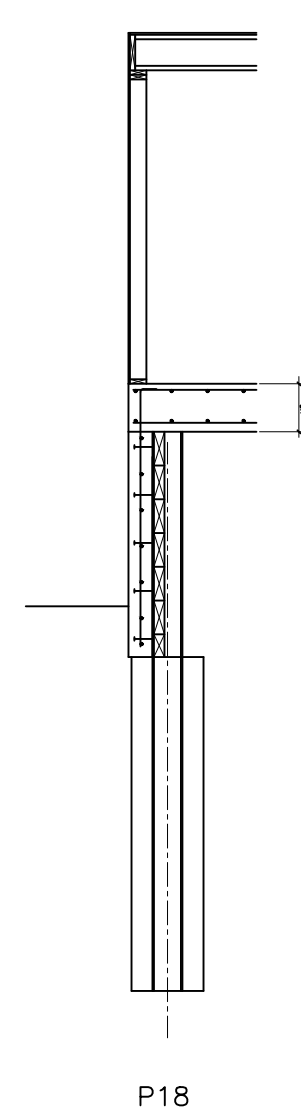
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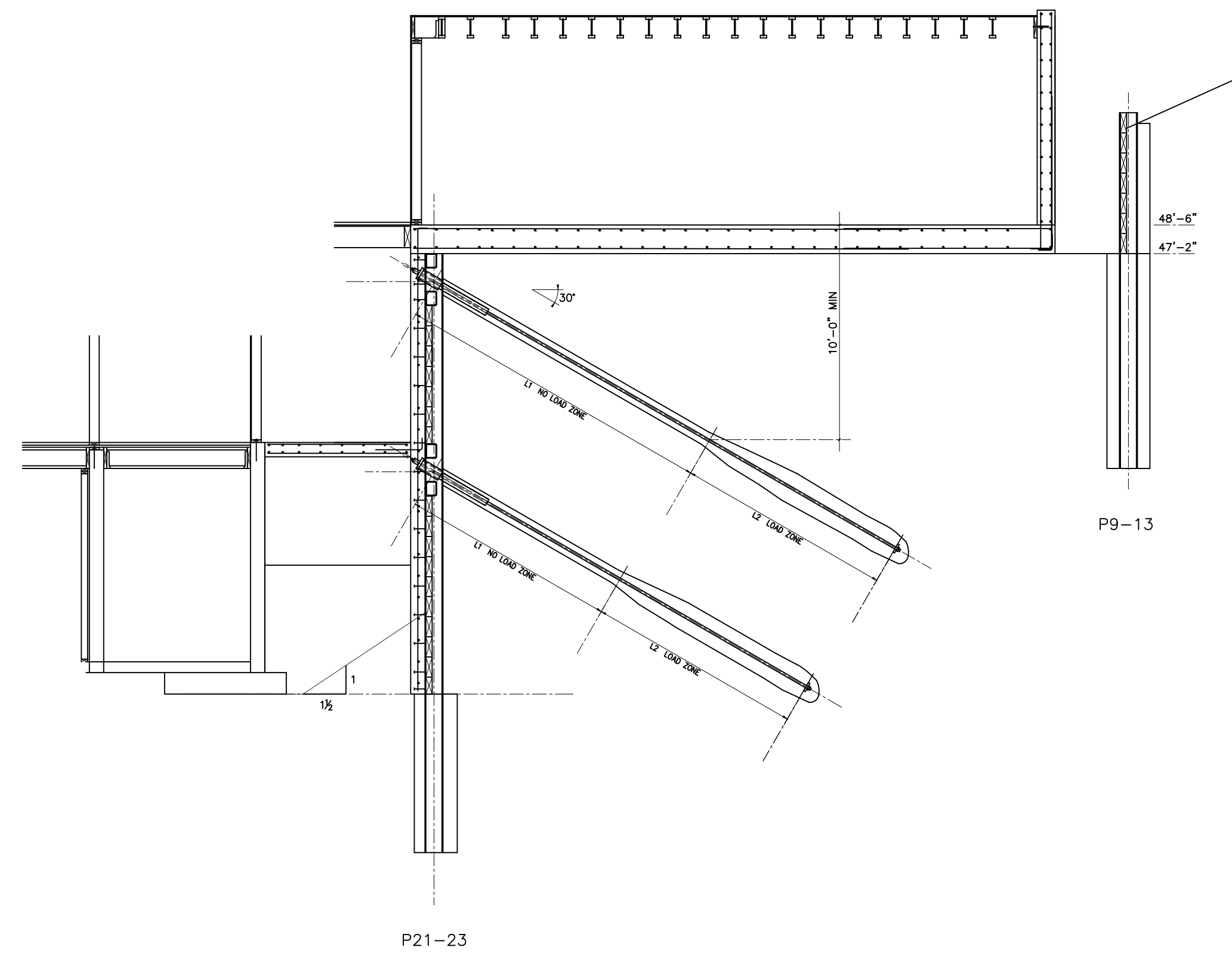
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P16



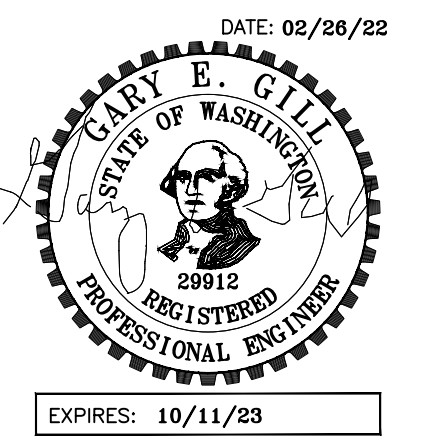
P18



P9-13

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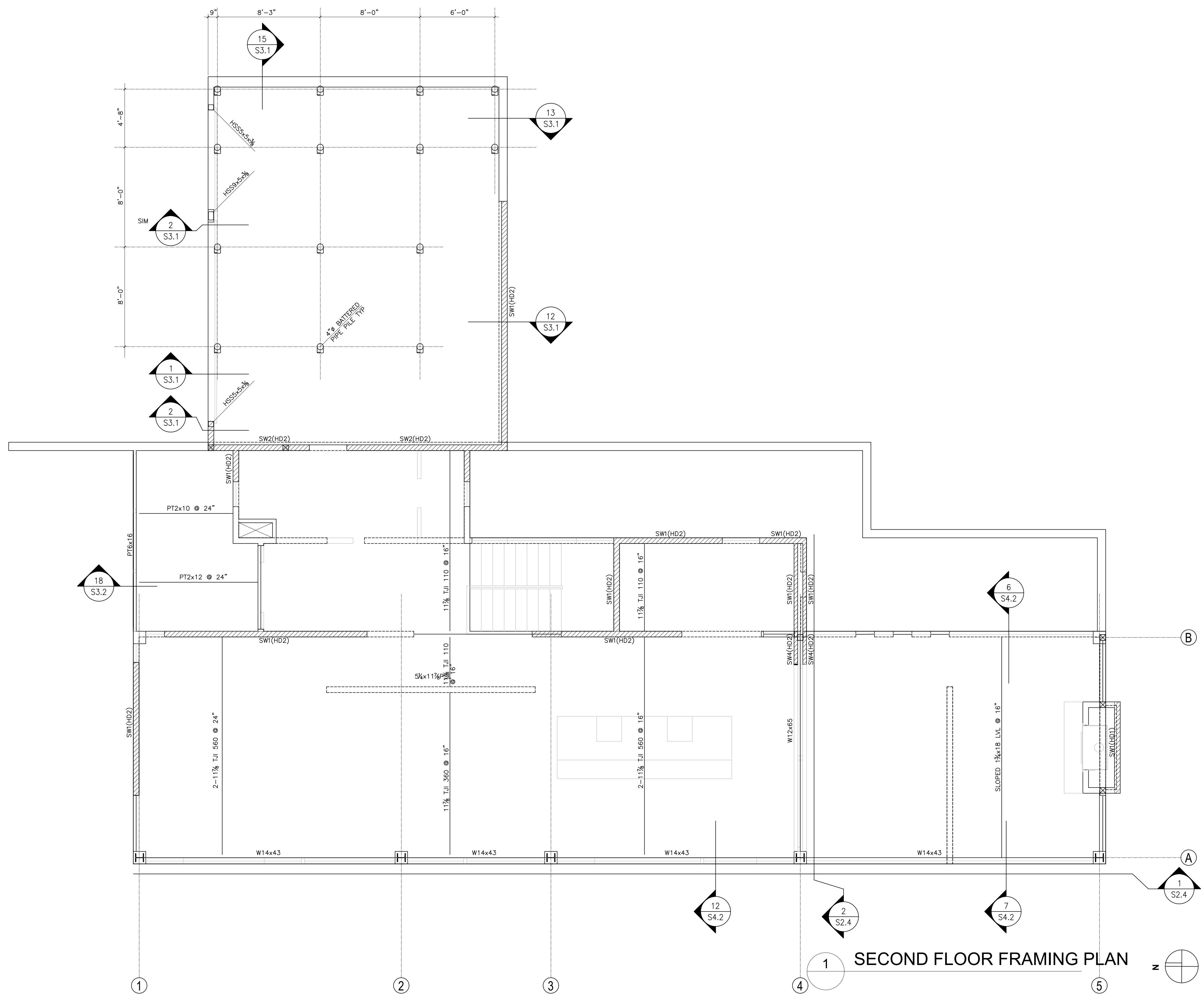
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SECOND FLOOR FRAMING PLAN

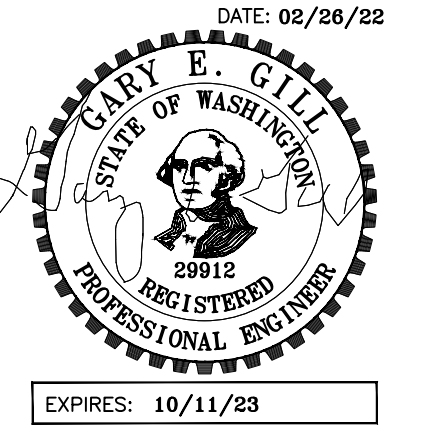
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SHEET TITLE:
SECOND FLOOR

FRAMING PLAN

SHEET:
S2.2

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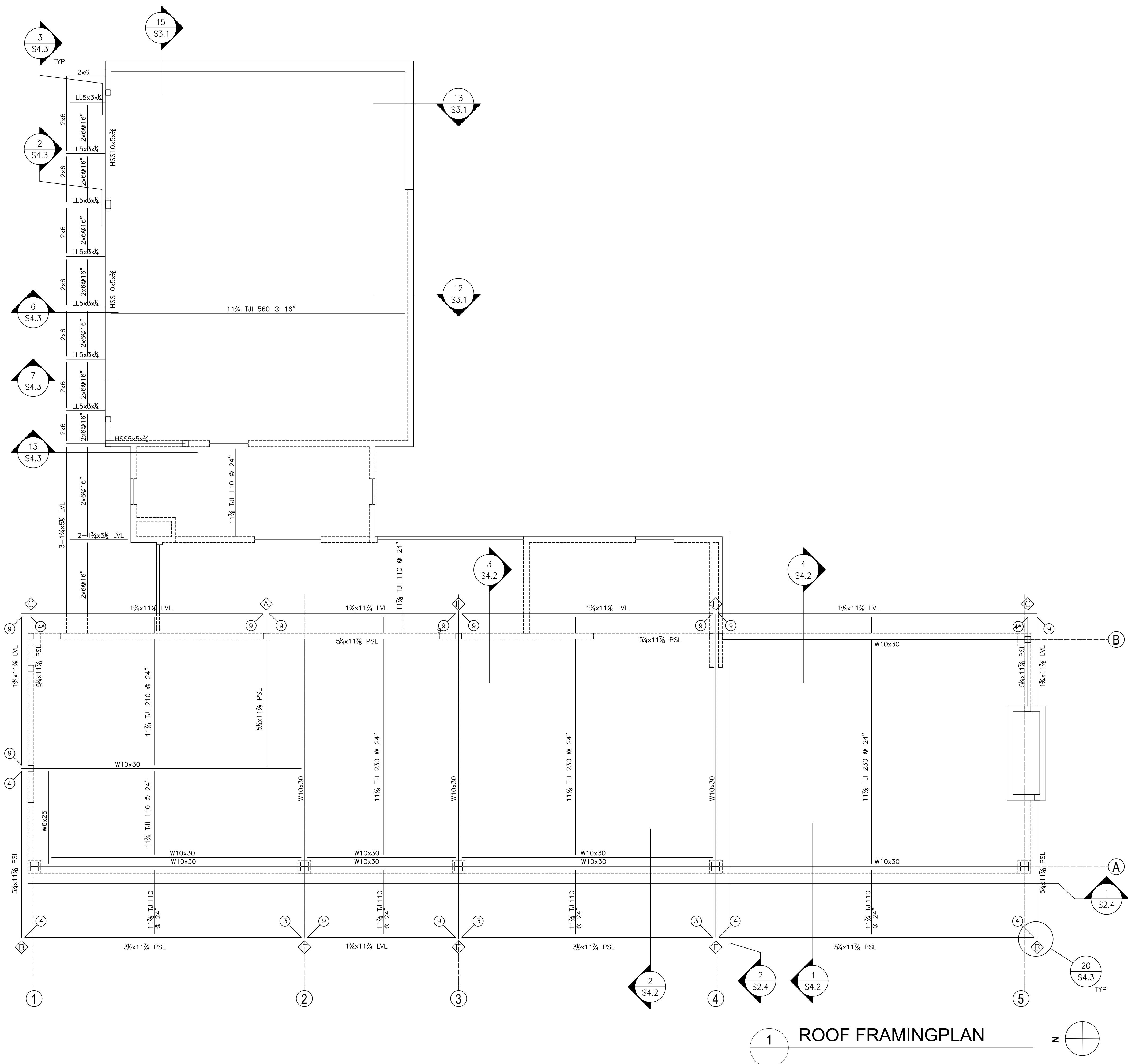
SHEET TITLE:
 ROOF FRAMING

PLAN
 SHEET:

S2.3

CONNECTION SCHED	
MARK	HANGER
1	HUCQ410
2	HUCQ610
3	HUCQ412
4	HUCQ612
5	LUC210Z
6	A35 EA SIDE
7	HUC410 MAX
8	HUC610 MAX
9	HUCQ1.81/11-SDS

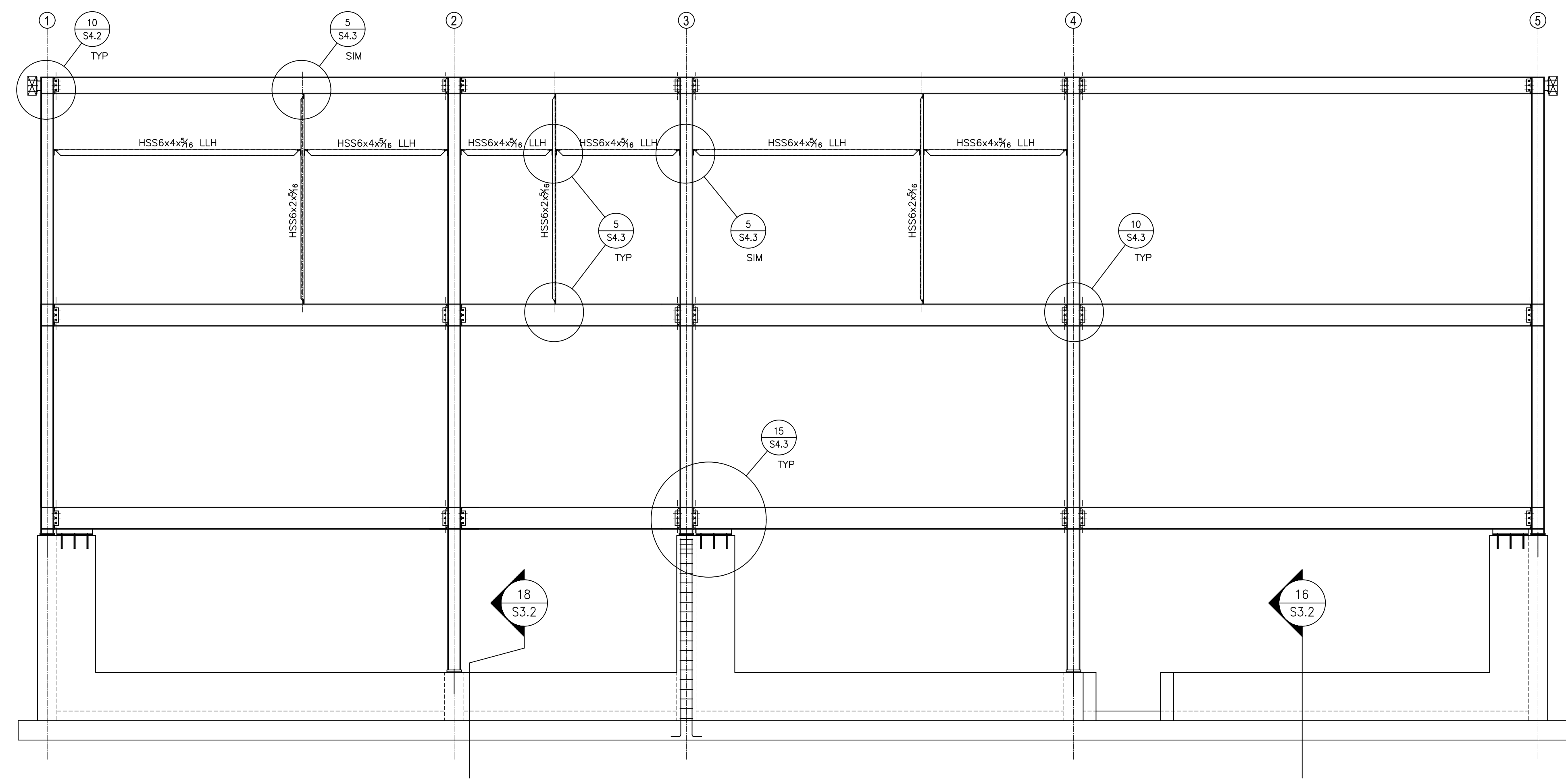
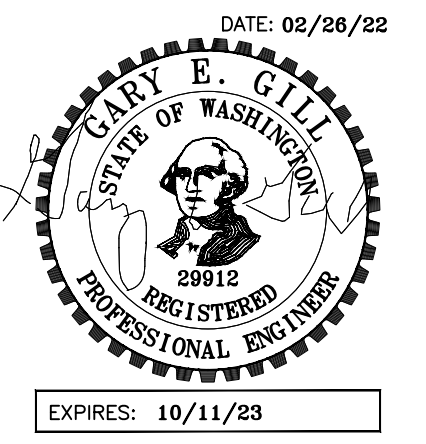
NOTES:
 1. WHEN CALLOUT HAS AN ASTERISK, HANGER IS INVERTED.



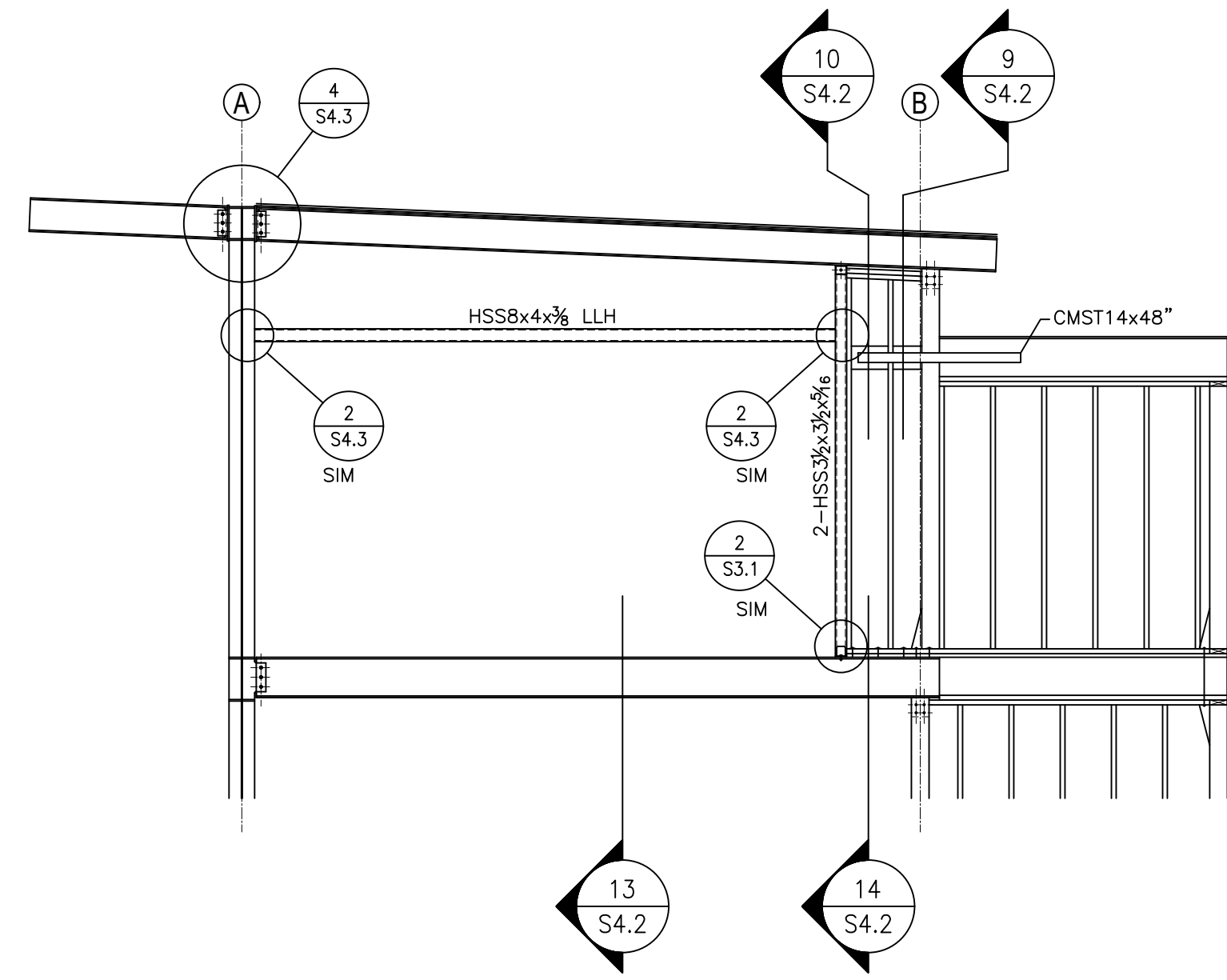
1 ROOF FRAMING PLAN

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1 FRAMING ELEV LINE A



2 FRAMING ELEV LINE 4

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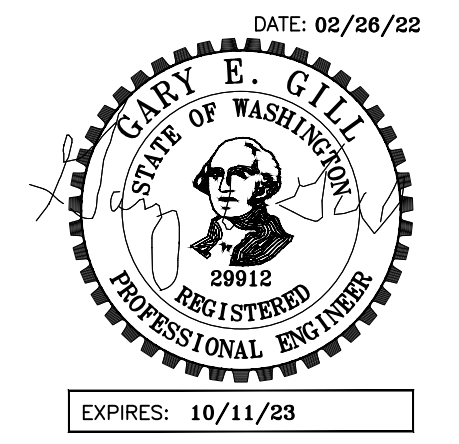
SHEET TITLE:
 FRAMING

ELEVATIONS
 SHEET:

S2.4

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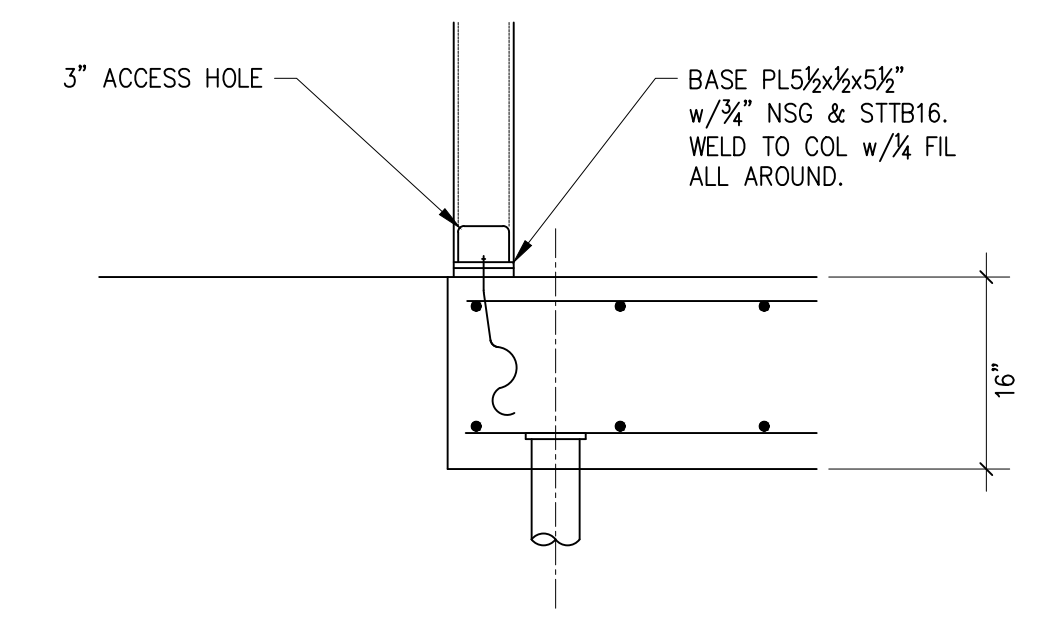
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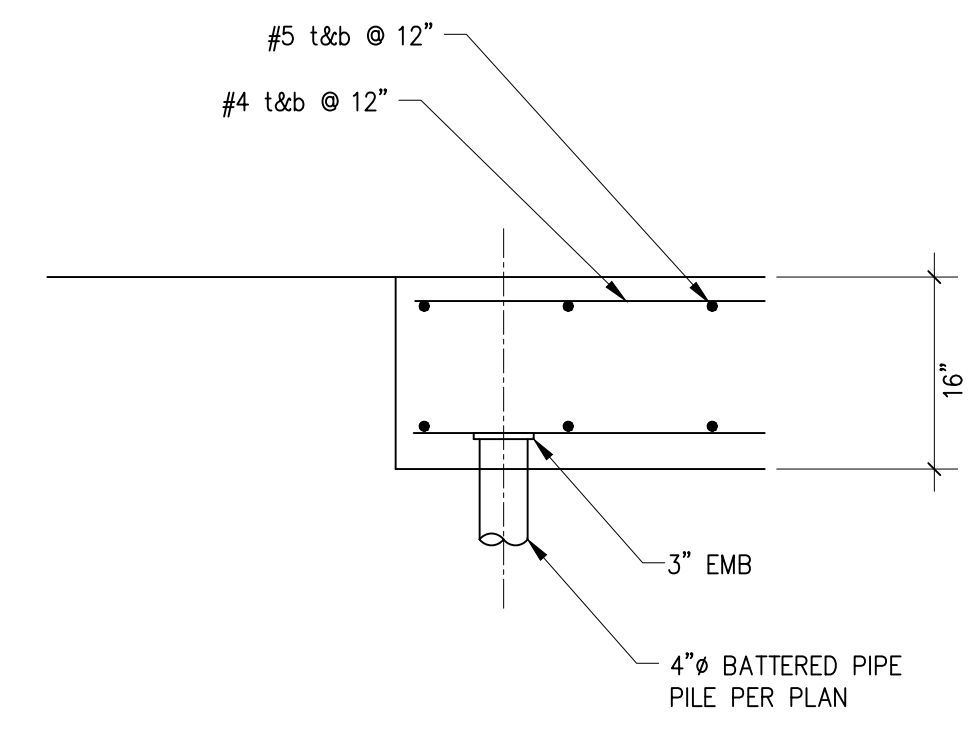
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DETAILS
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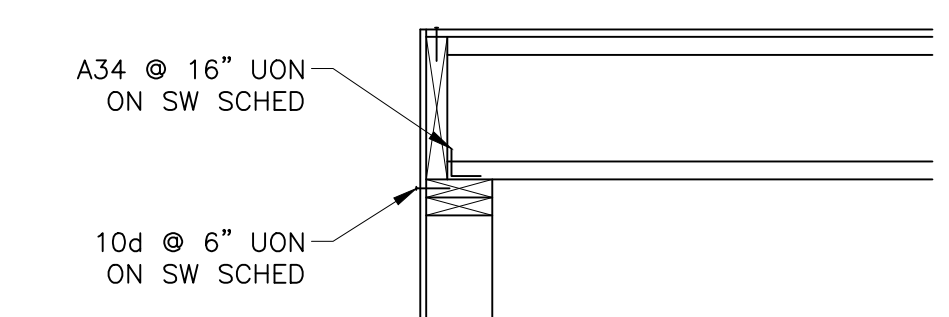
S3.1



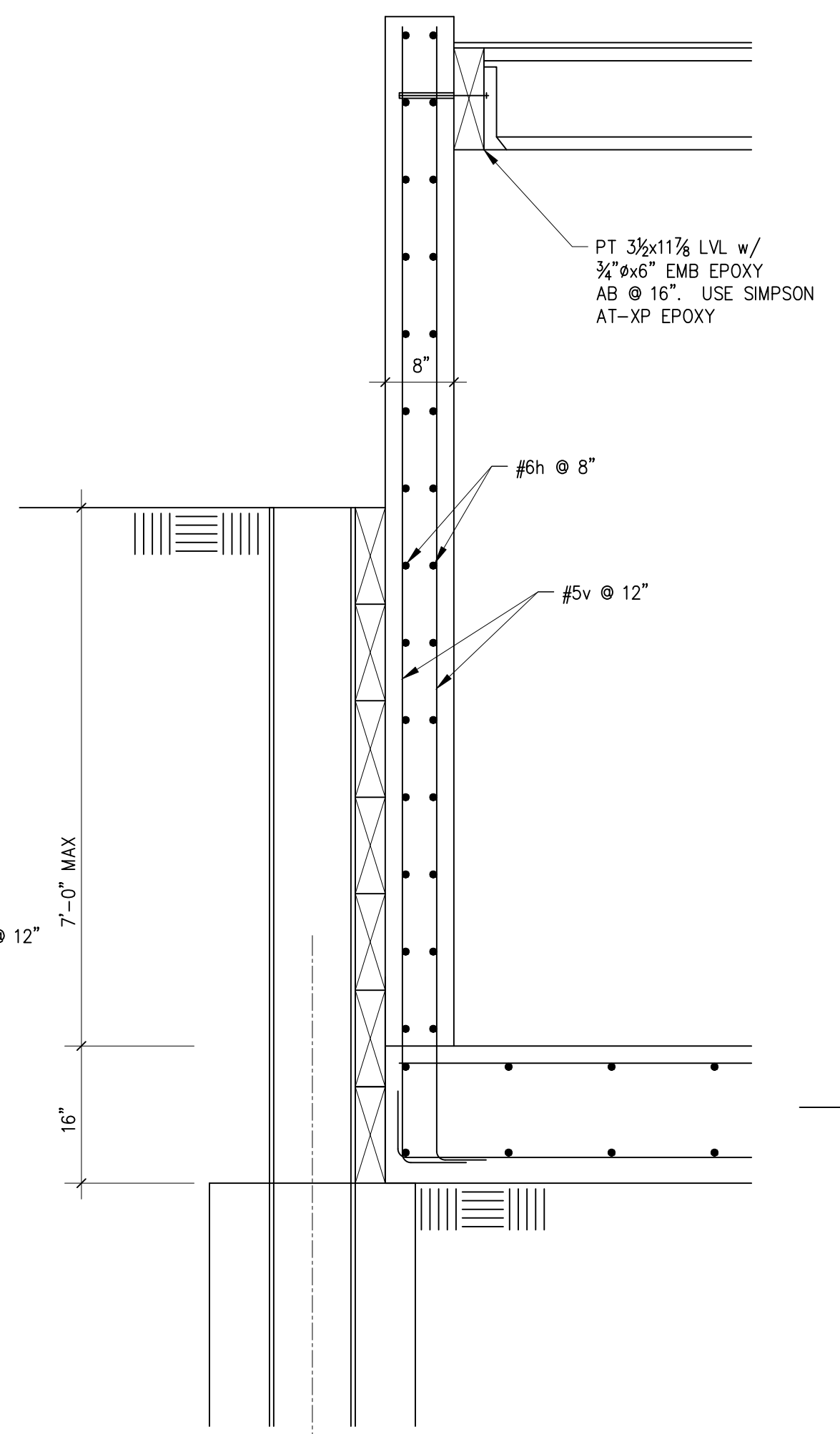
2 SECTION
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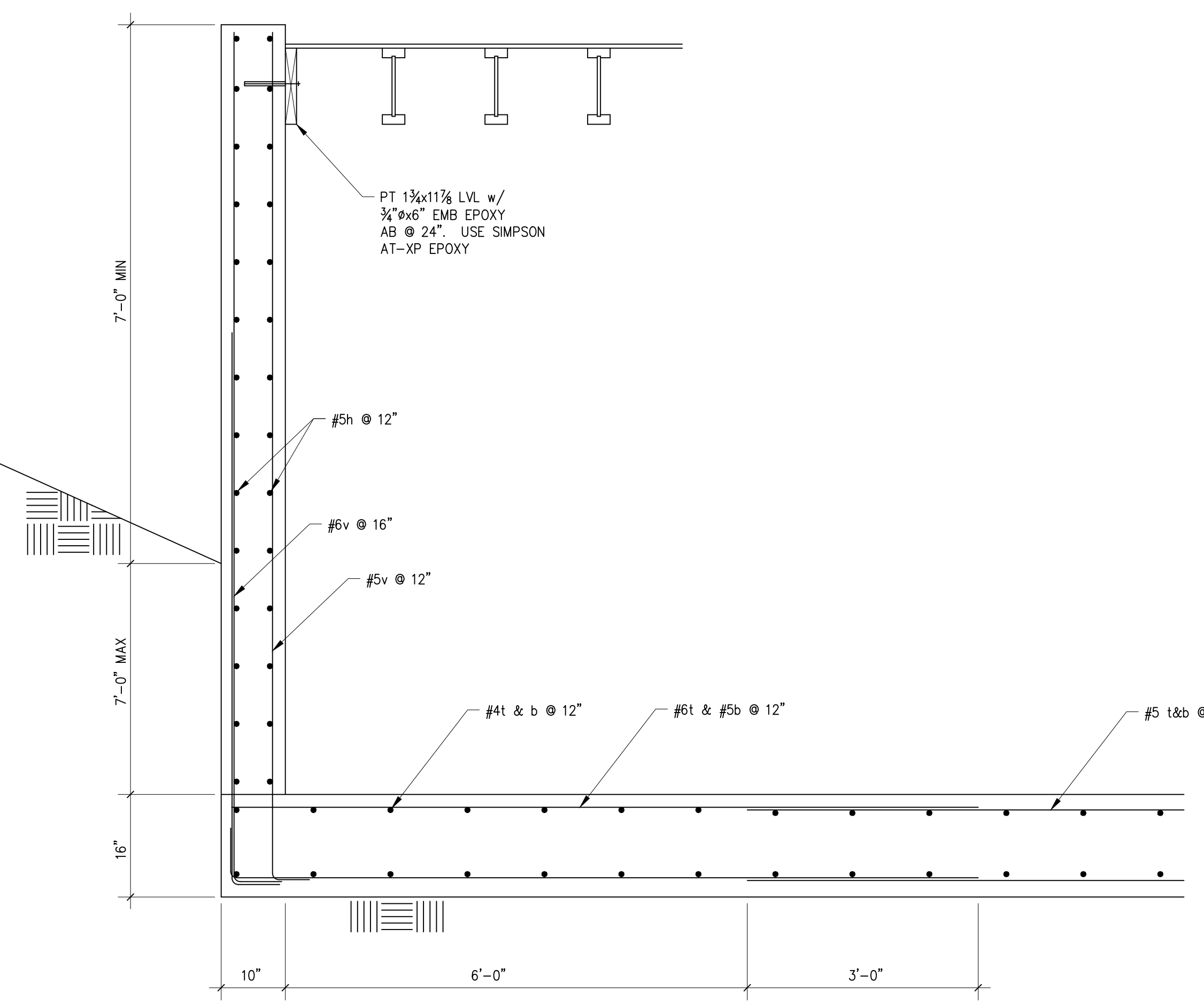
1 SECTION
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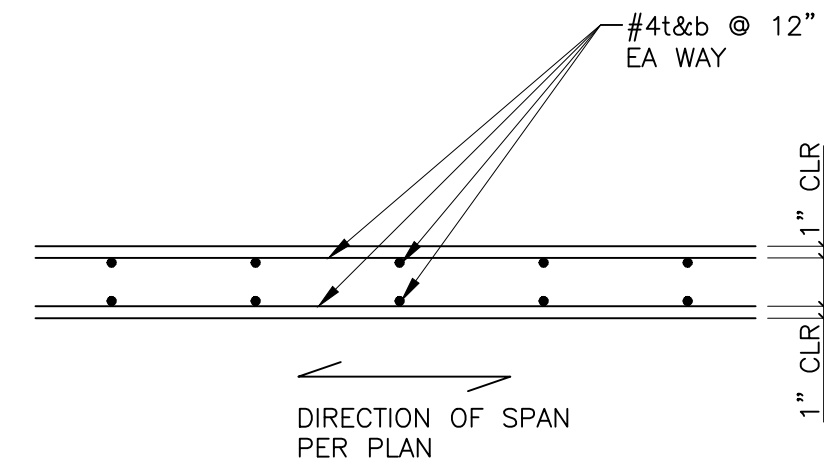
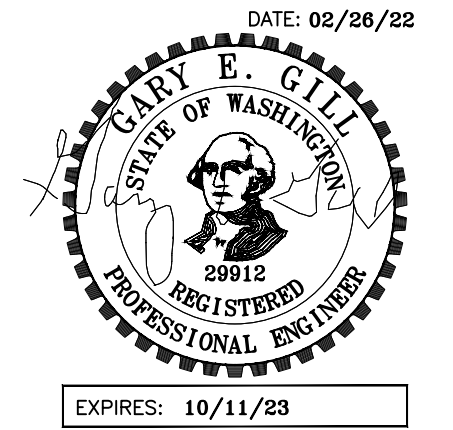
12 SECTION
 S3.1 SCALE: 3/4" = 1'-0"



13 SECTION
 S3.1 SCALE: 3/4" = 1'-0"

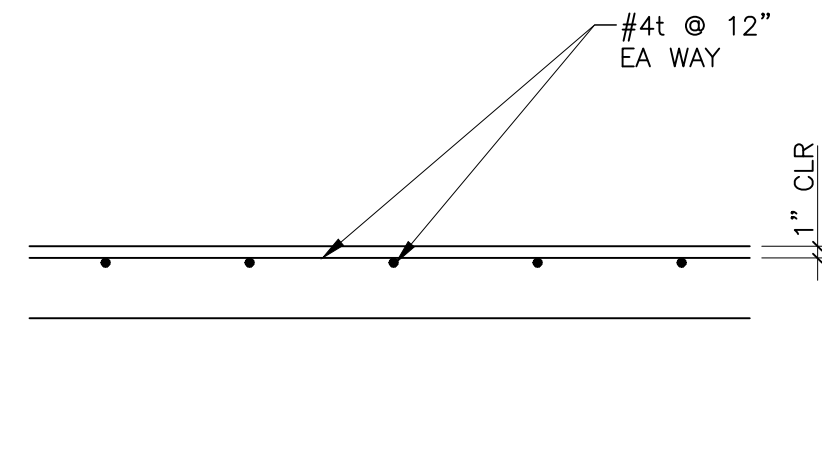


15 SECTION
 S3.1 SCALE: 3/4" = 1'-0"

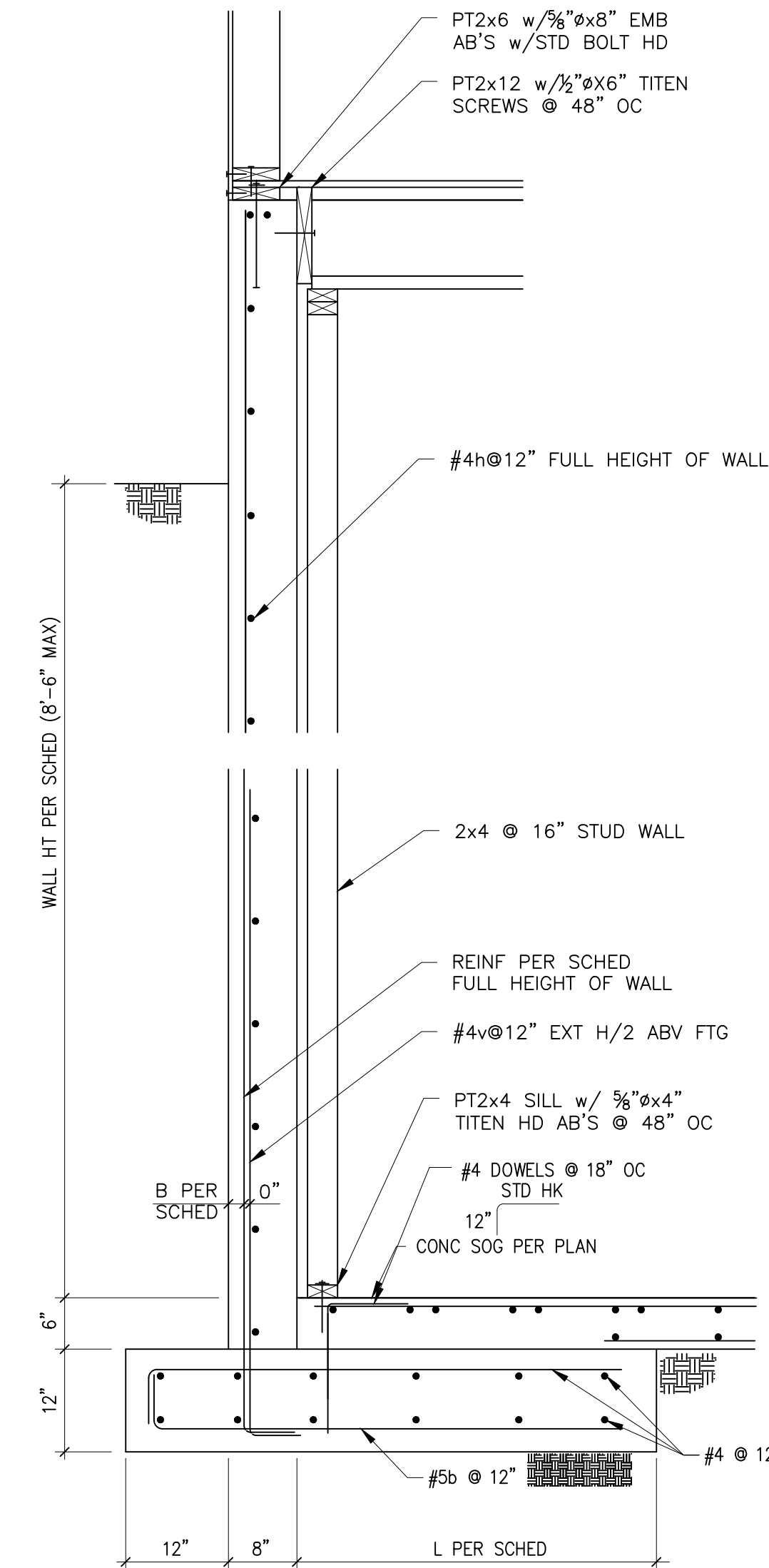


- NOTES:
 1. OPTIONAL LAP SPLICE TOP BARS 24" @ MIDSPAN.
 2. OPTIONAL LAP SPLICE BOT BARS 12" @ GRADE BM.

5 TYP PILE SUPP SOG
 S3.2 SCALE: 3/4" = 1'-0"



4 TYP SLAB ON GRADE
 S3.2 SCALE: 3/4" = 1'-0"



RETAINING WALL SCHEDULE

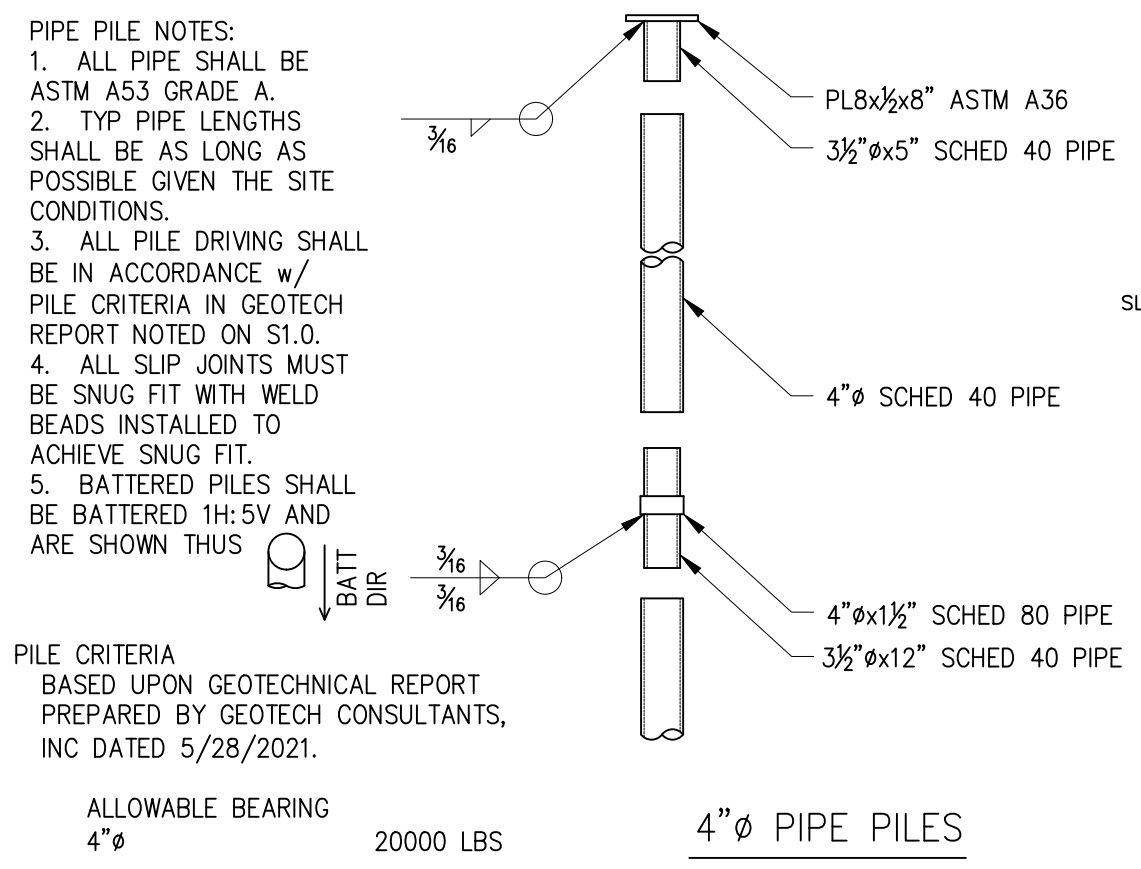
WALL HT	"L"	"B"	REINF
2'-0"	1'-0"	4"	#4v@12"
4'-0"	2'-0"	4"	#4v@12"
6'-0"	4'-0"	4"	#4v@12"
8'-6"	5'-0"	2"	#5v@12"

- RETAINING WALL SCHED NOTES
 1. #4v@12 THAT EXTEND H/2 MAY BE OMITTED @ WALLS 4'-0" OR LESS IN HEIGHT.

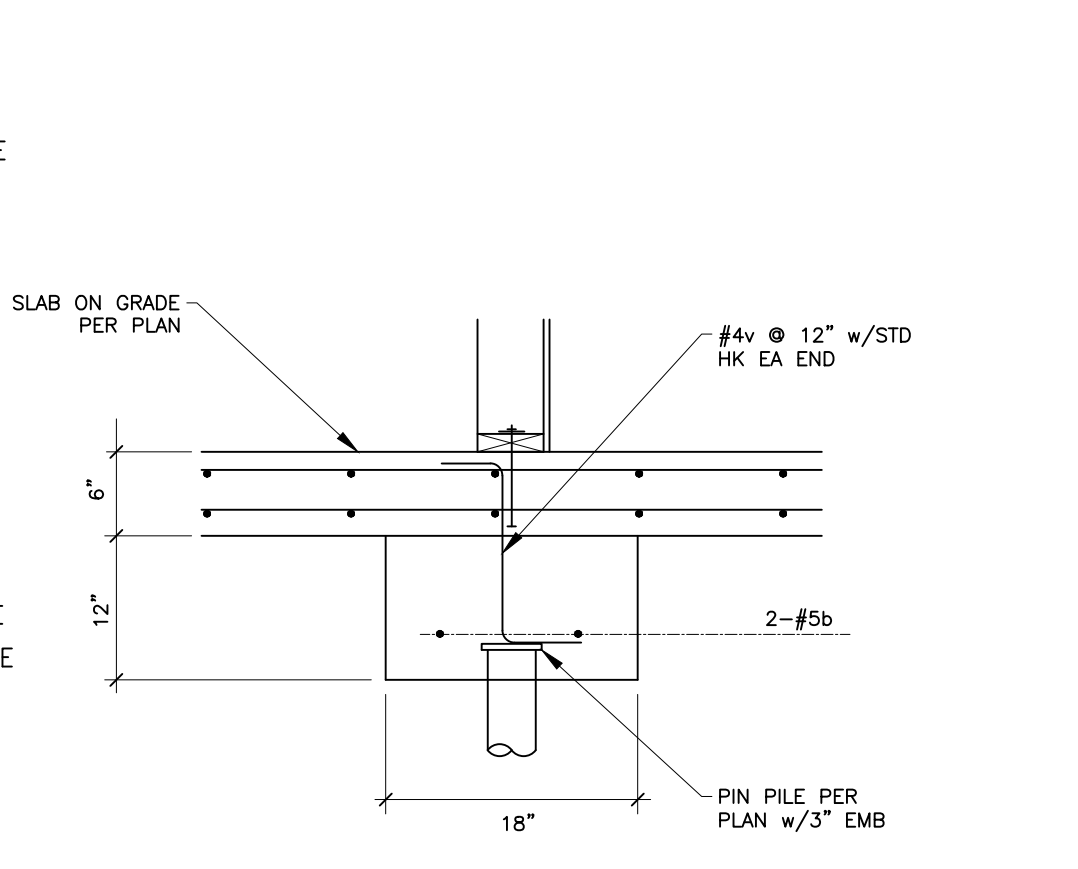
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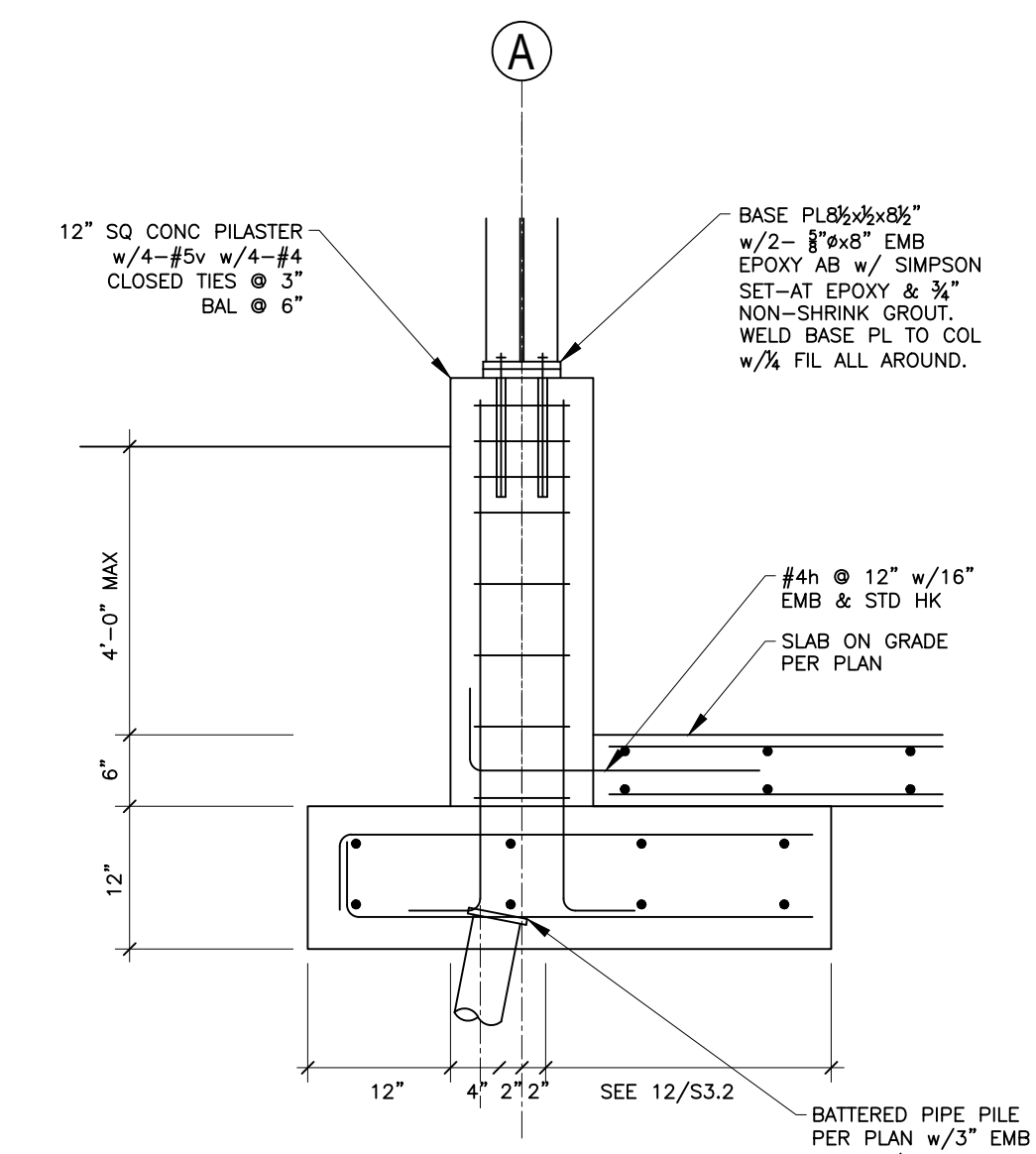
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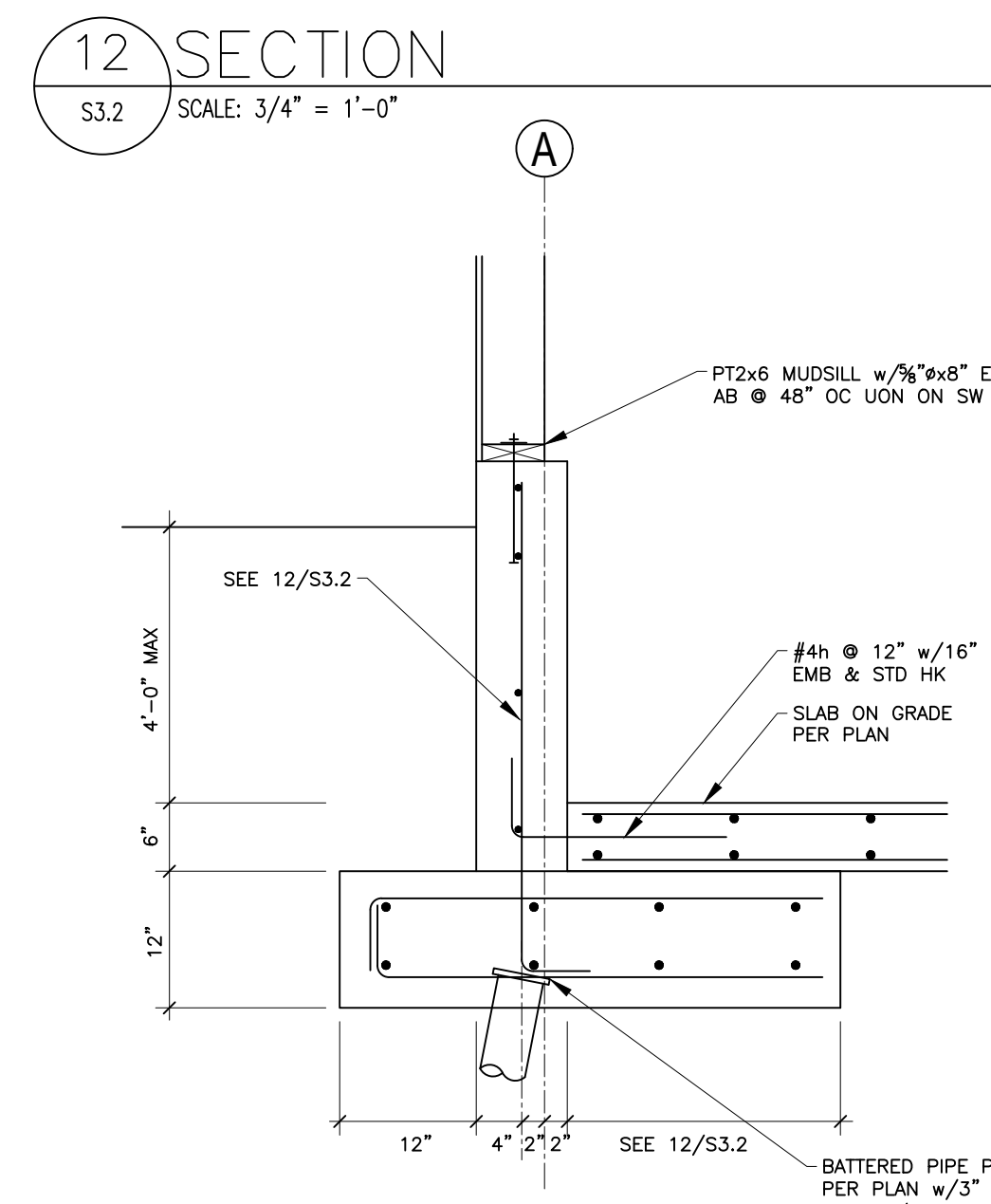
20 TYP PIPE PILE DETAILS
 S3.2 SCALE: 3/4" = 1'-0"



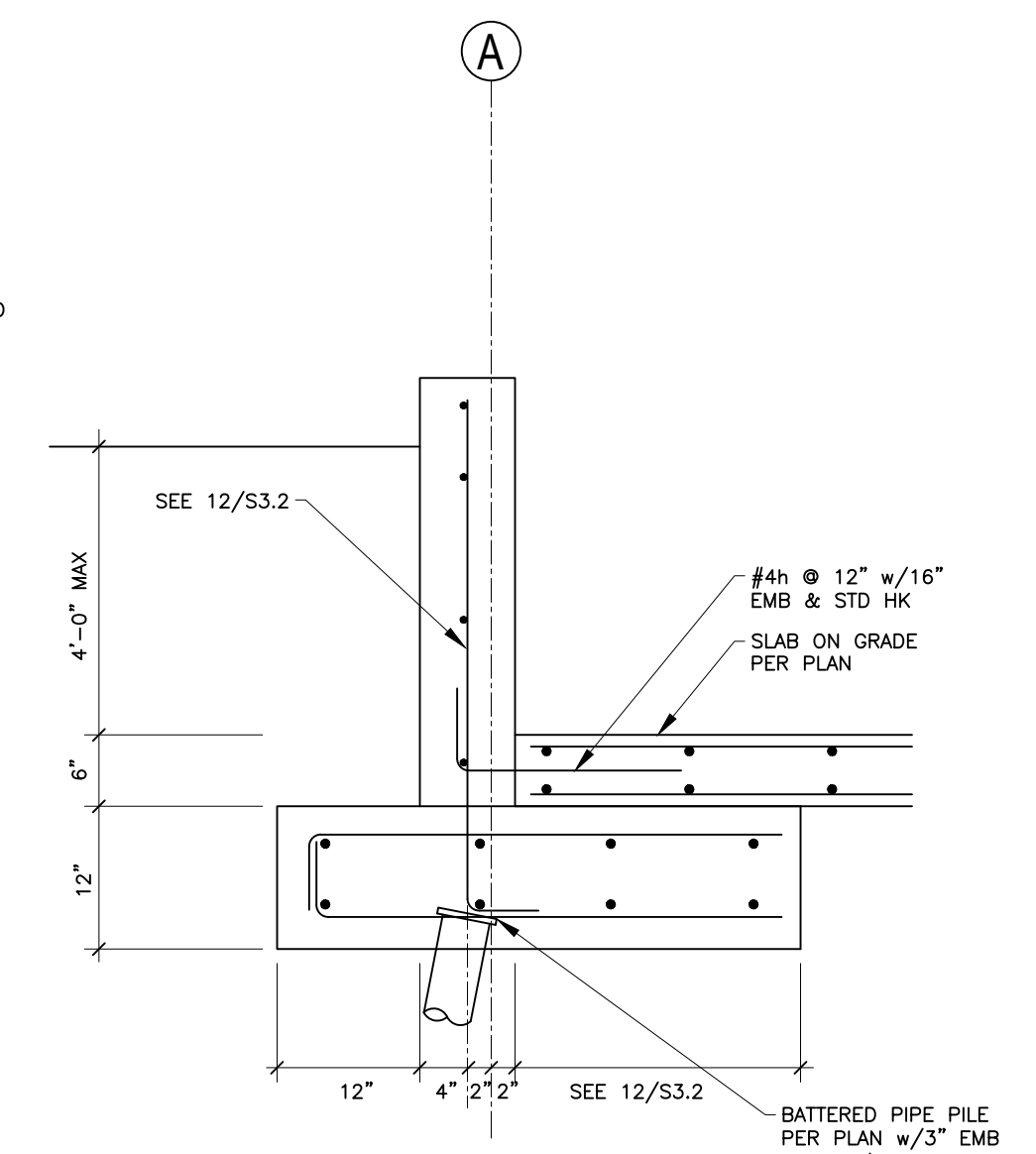
19 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



18 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



17 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



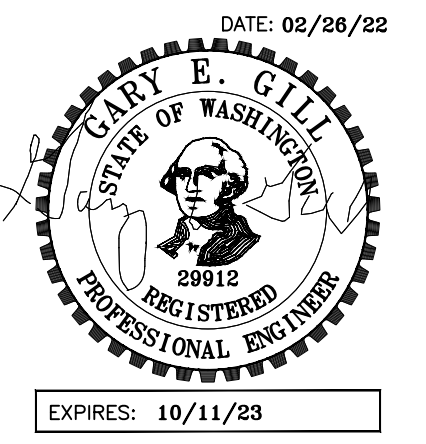
16 SECTION
 S3.2 SCALE: 3/4" = 1'-0"

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SHEET TITLE:
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DETAILS
 SHEET:

S3.2



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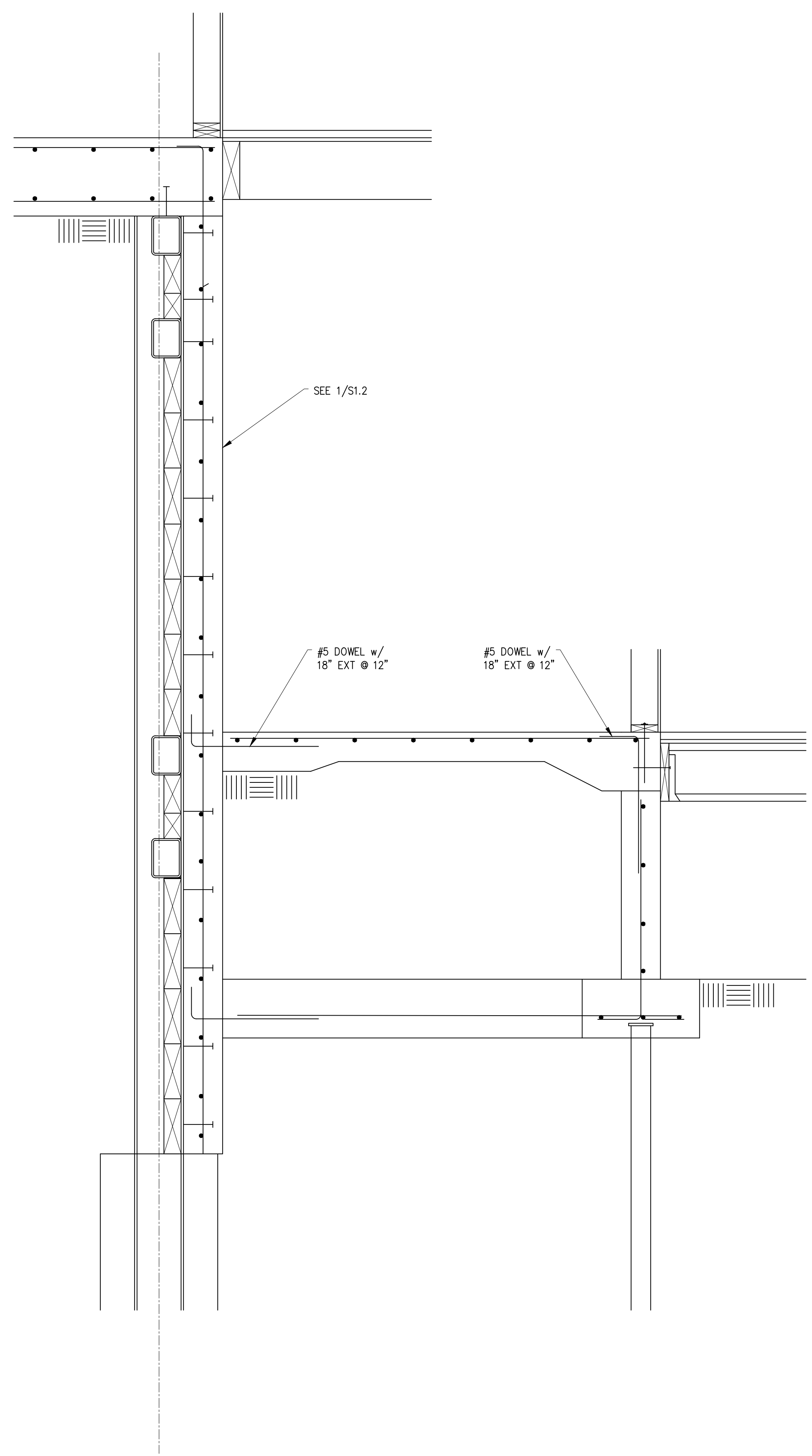
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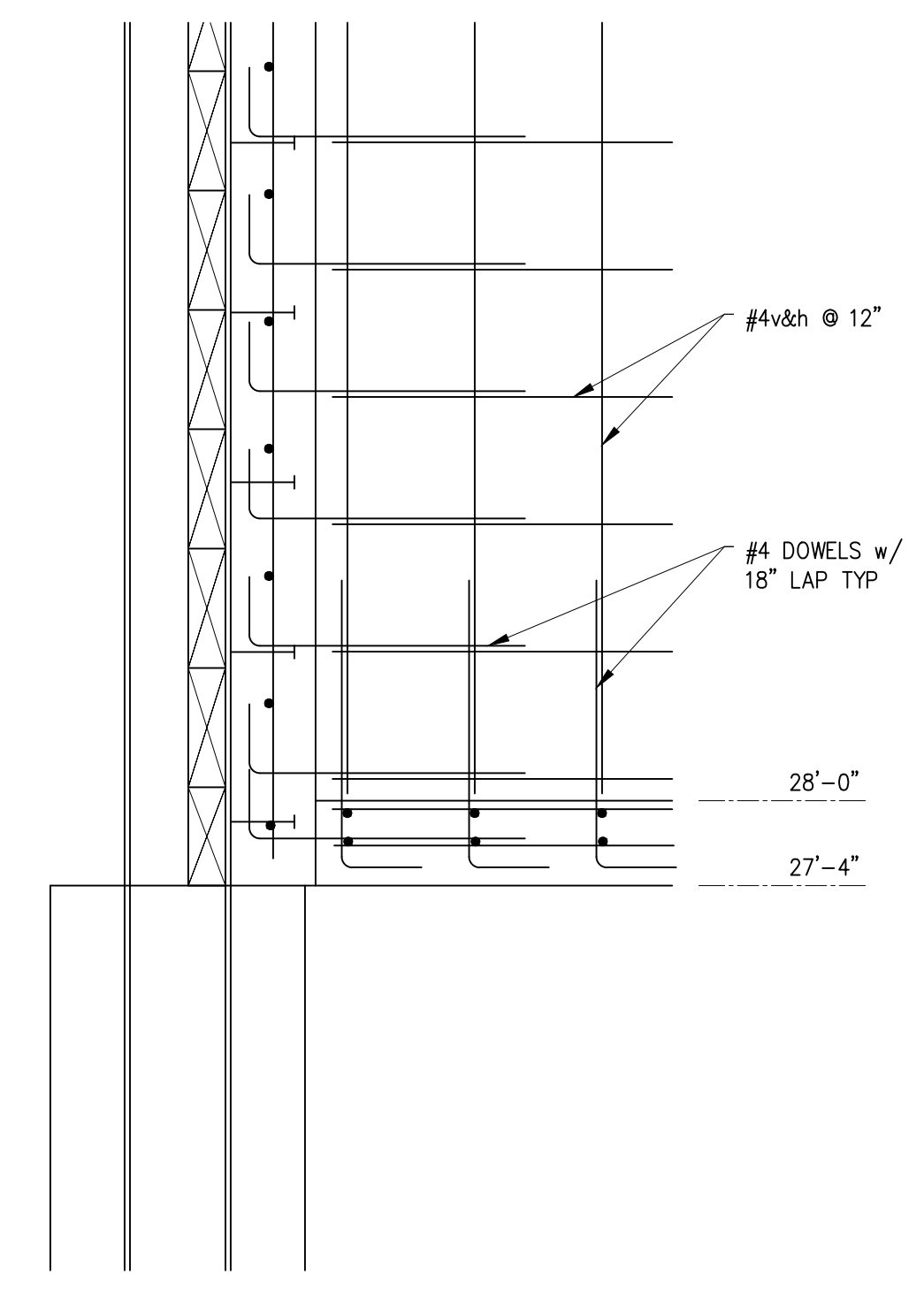
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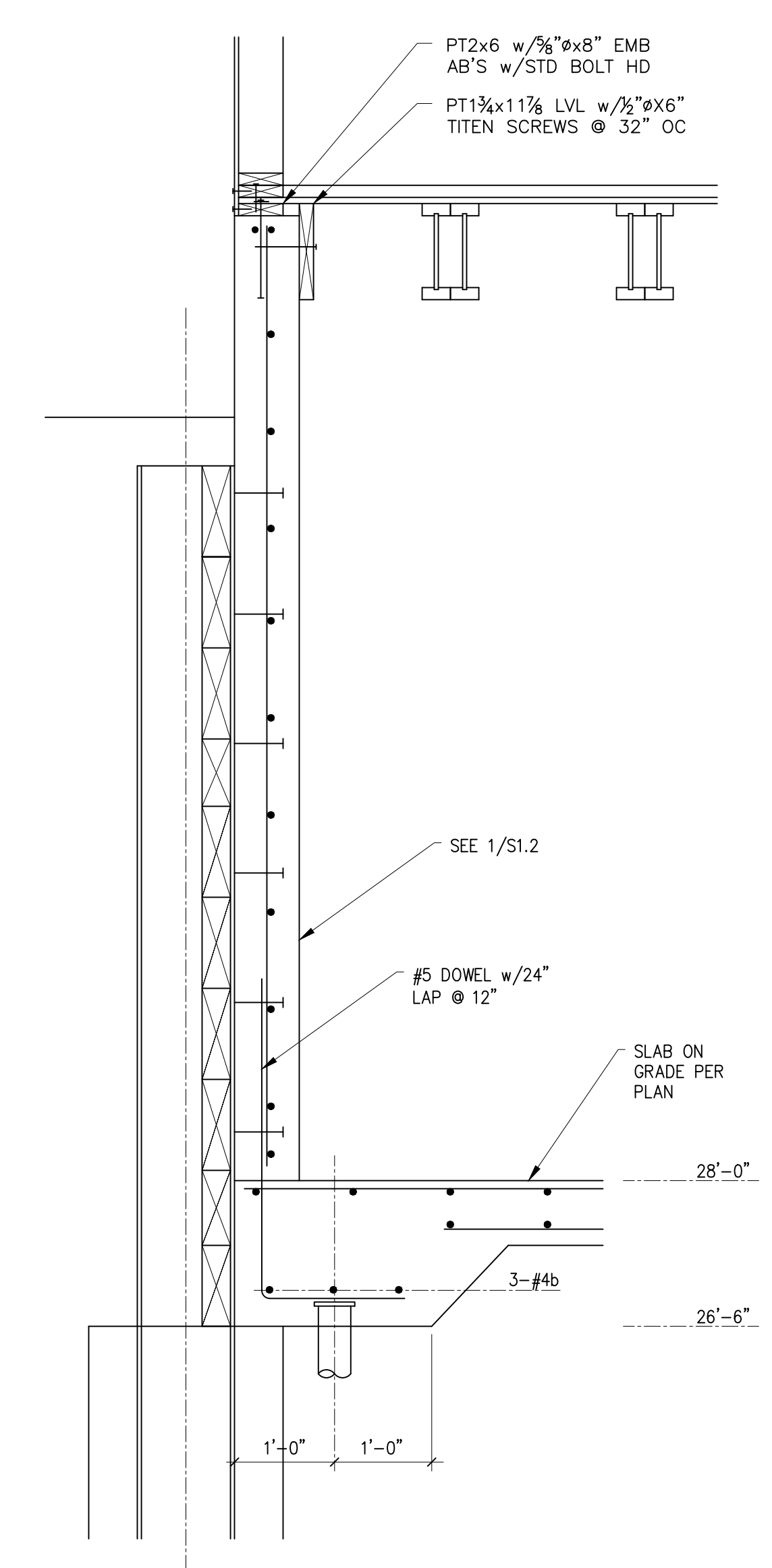
DETAILS
 SHEET:
S3.3



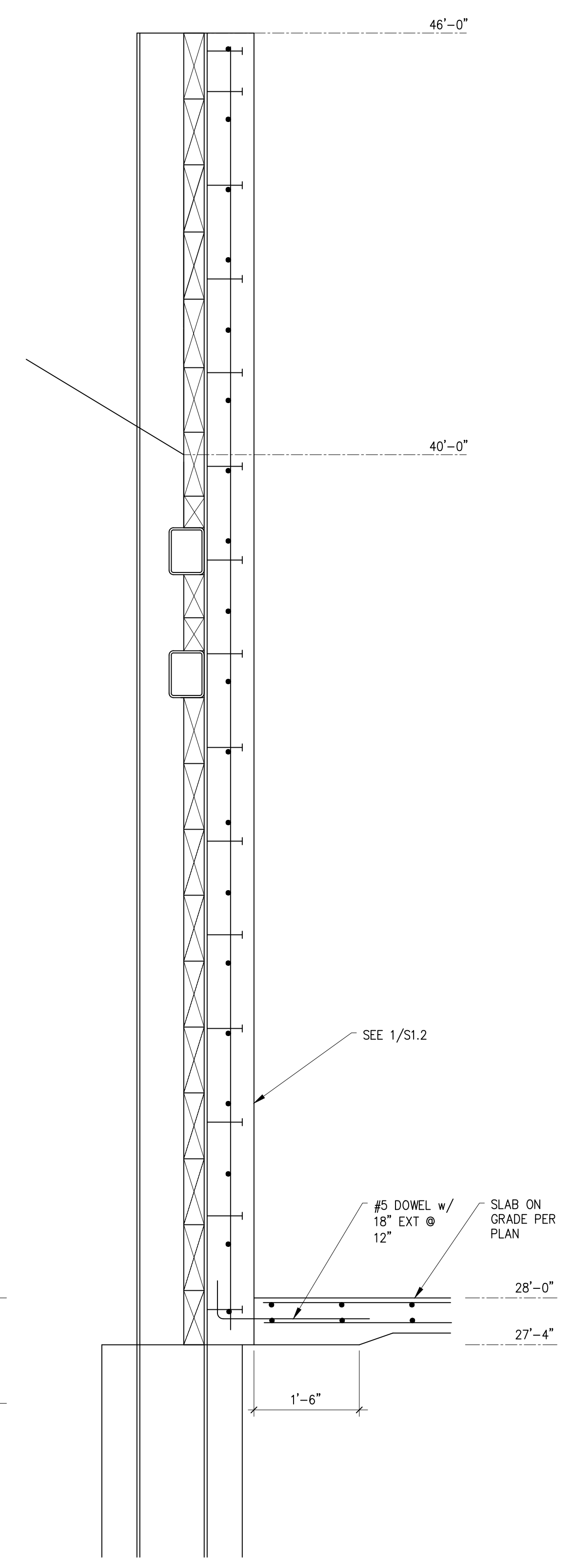
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 S3.3 SCALE: 3/4" = 1'-0"



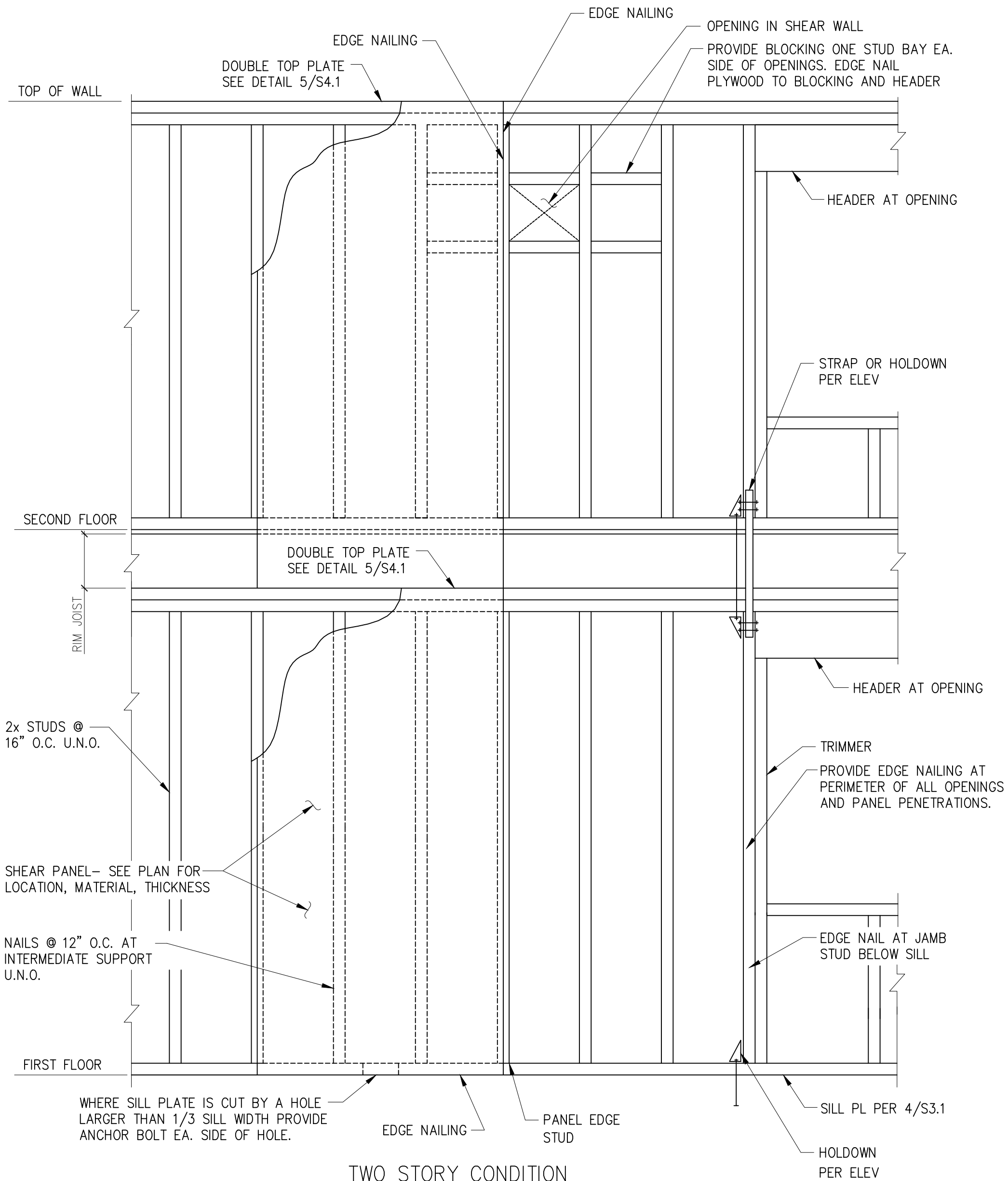
18 SECTION
 S3.3 SCALE: 3/4" = 1'-0"



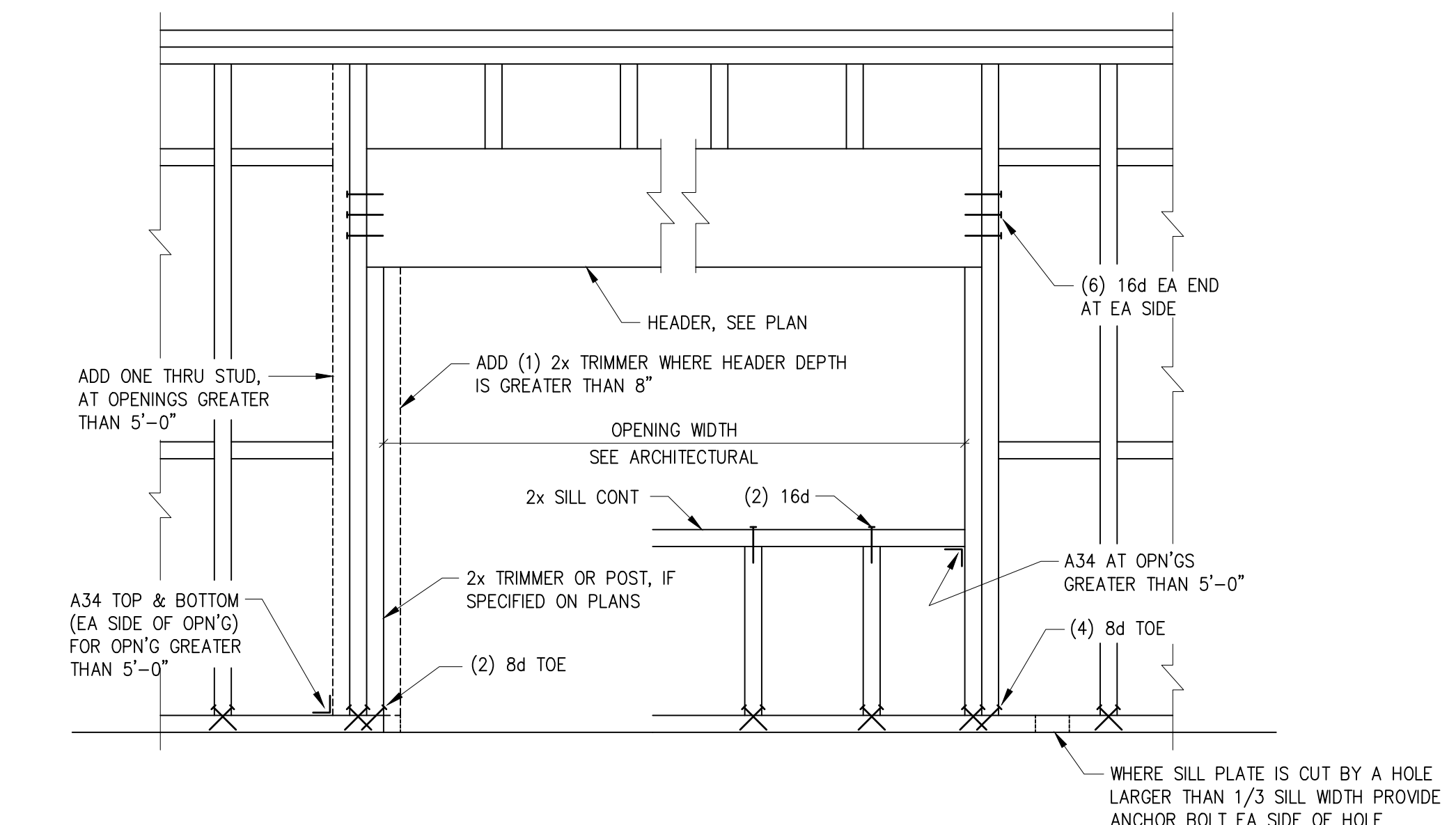
17 SECTION
 S3.3 SCALE: 3/4" = 1'-0"



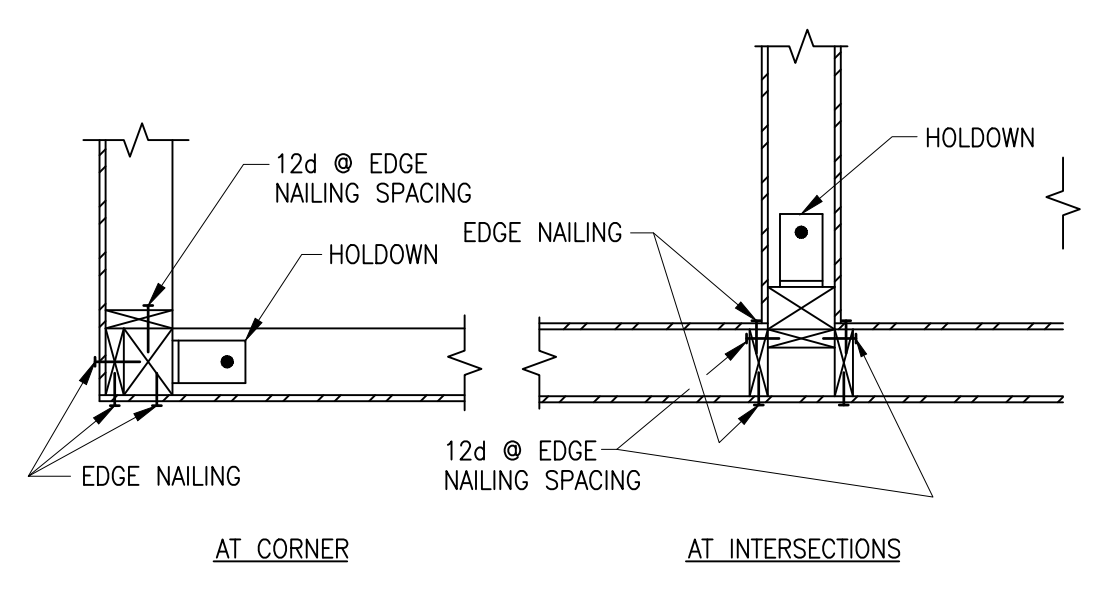
16 SECTION
 S3.3 SCALE: 3/4" = 1'-0"



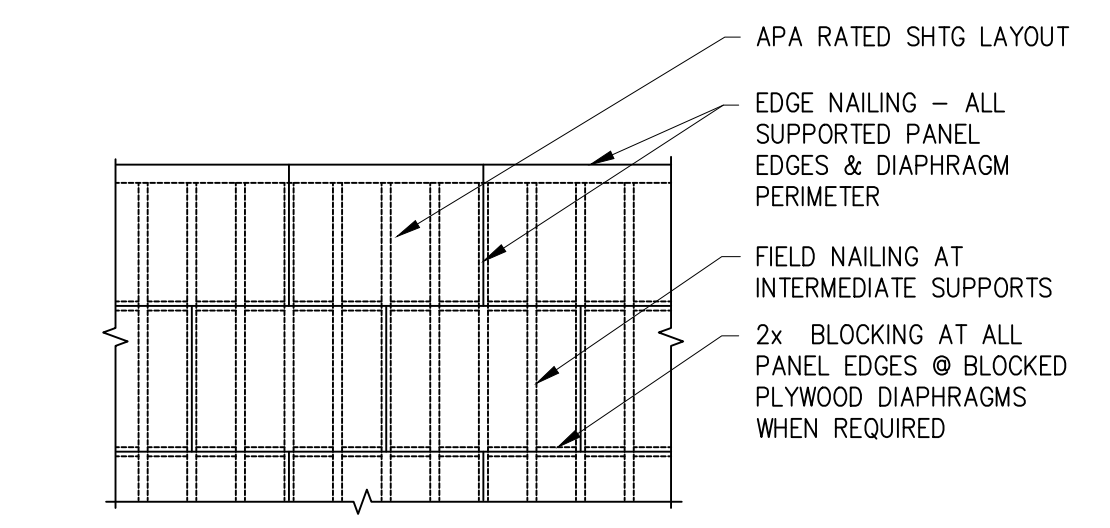
1 SHEAR WALL ELEVATION
S4.1 SCALE: 3/4" = 1'-0"



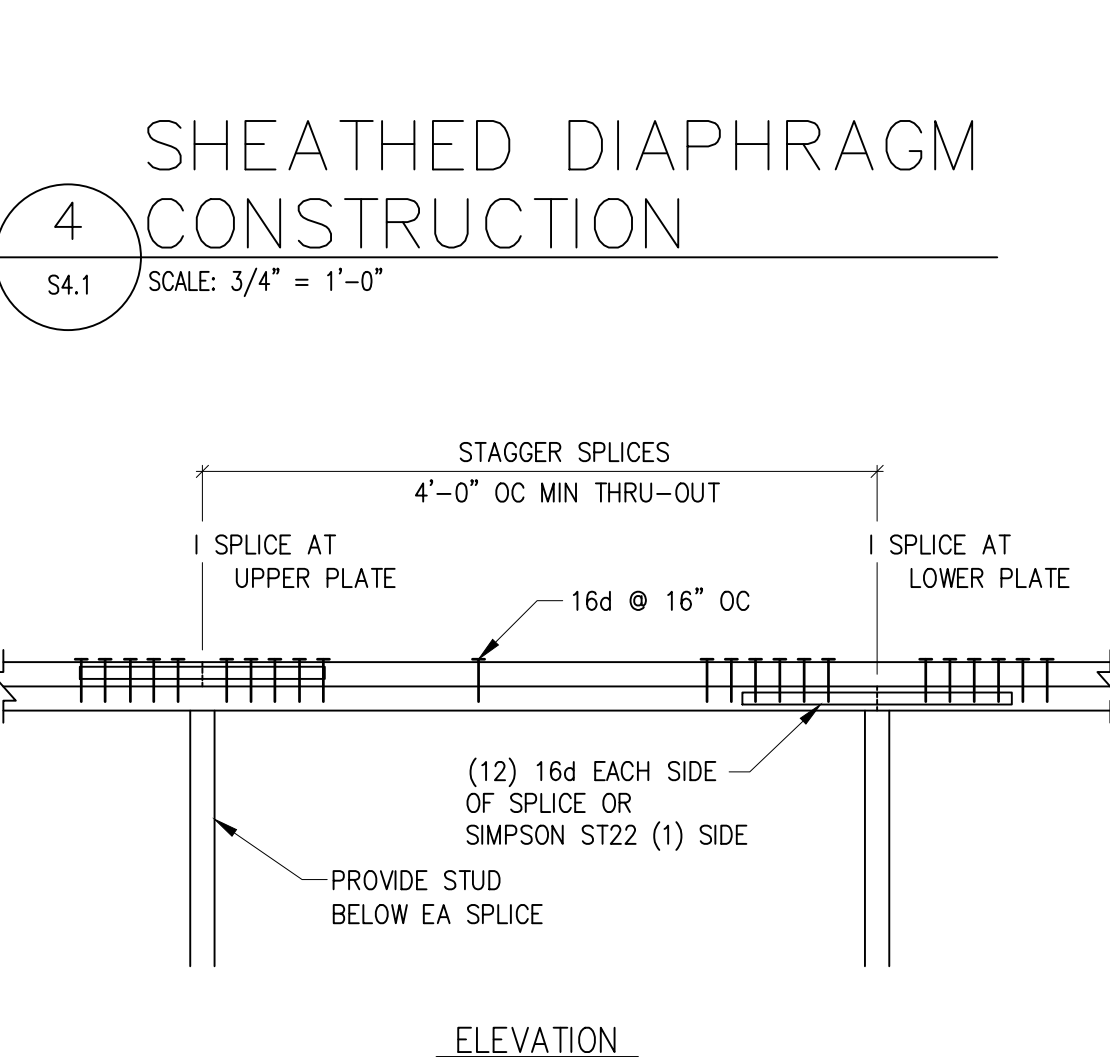
2 HEADER CONNECTION DETAIL
S4.1 SCALE: 3/4" = 1'-0"



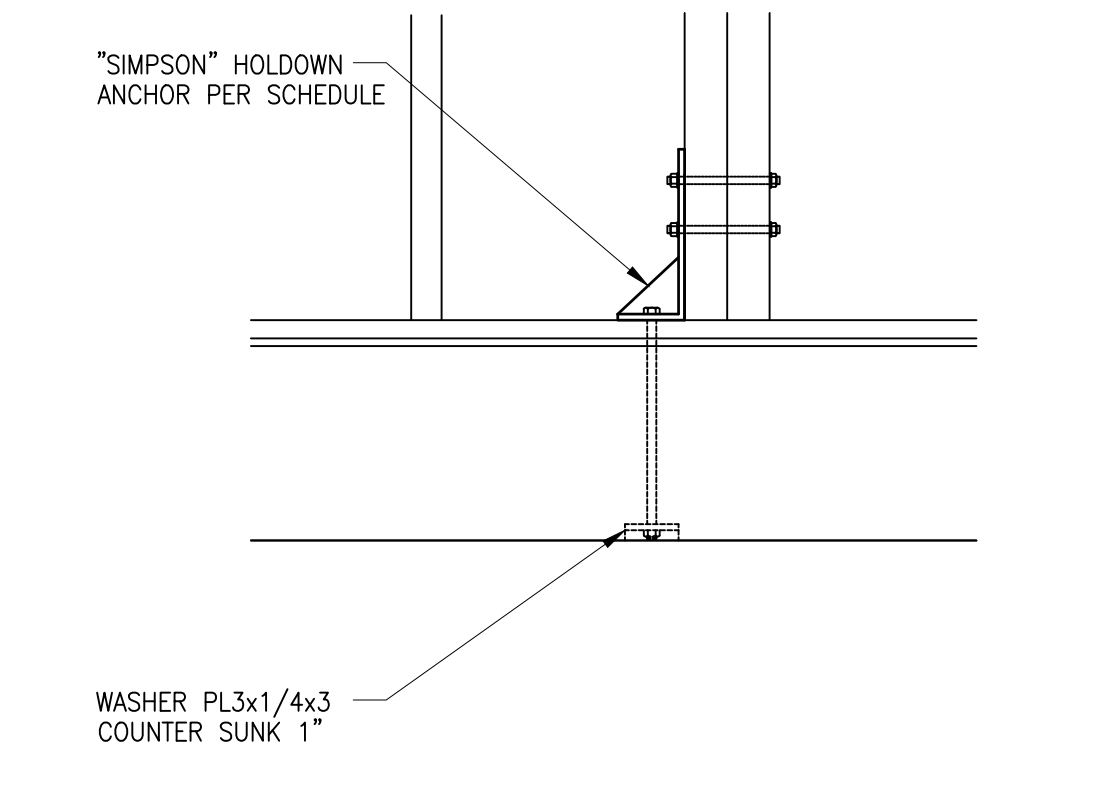
3 HOLD DOWN PLAN VIEWS
S4.1 SCALE: 3/4" = 1'-0"



4 SHEATHED DIAPHRAGM CONSTRUCTION
S4.1 SCALE: 3/4" = 1'-0"



5 DBL TOP PLATE SPLICE
S4.1 SCALE: 3/4" = 1'-0"



6 HOLD DOWN DETAIL
S4.1 SCALE: 3/4" = 1'-0"

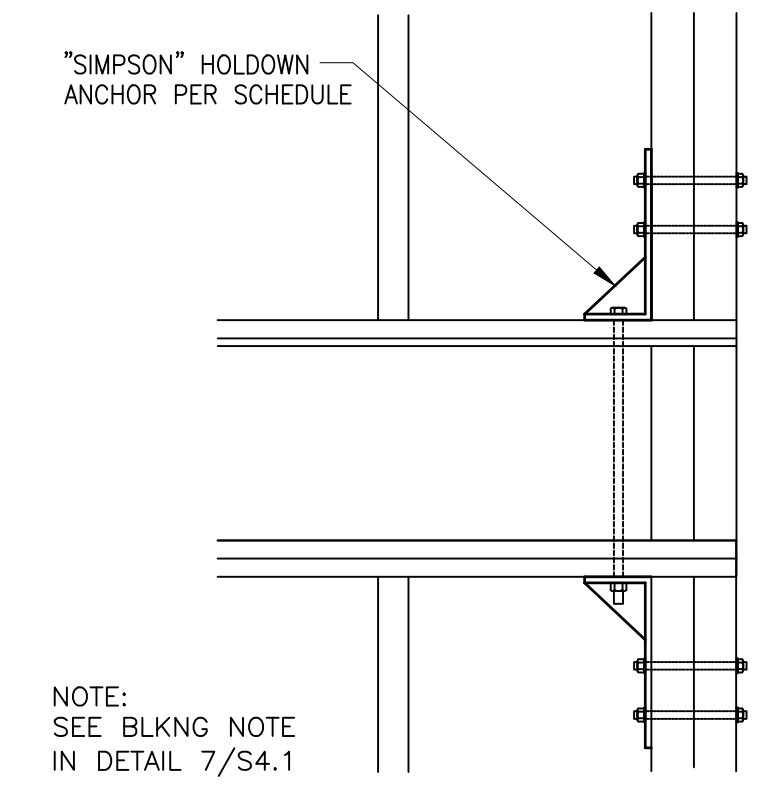
"SIMPSON" HOLD DOWN SCHEDULE					
MARK	HOLD DOWN	ANCHOR BOLTS	STUD BOLTS	MIN POST REQUIRED	ALLOWABLE TENSION (lbs)
					DOUG-FIR
HD1	CS14	15 10d EA END	15 10d	(2) 2x	2490
HD2	HDU2-SDS2.5	SSTB16L	6-SDS 1/4"x2 1/2"	(2) 2x	3075
HD3	HDU4-SDS2.5	SSTB28L	10-SDS 1/4"x2 1/2"	(2) 2x	4565
HD4	HDU8-SDS2.5	SSTB28L	20-SDS 1/4"x2 1/2"	4x6	6970
HD5	HDU11-SDS2.5	SSTB28L	30-SDS 1/4"x2 1/2"	6x6	9535
HD6	HDU14-SDS2.5	SB1x30	36-SDS 1/4"x2 1/2"	6x6	13665

- HOLD DOWN NOTES:**
- HOLD DOWNS ARE REQUIRED AS SHOWN ON THE FRAMING ELEVATIONS.
 - AT CORNERS COMMON TO TWO SHEAR WALLS USE THE LARGER OF THE HOLD DOWNS ONLY.
 - ALL HOLD DOWN COLUMNS AND WOOD ATTACHMENTS SHALL BE DF.

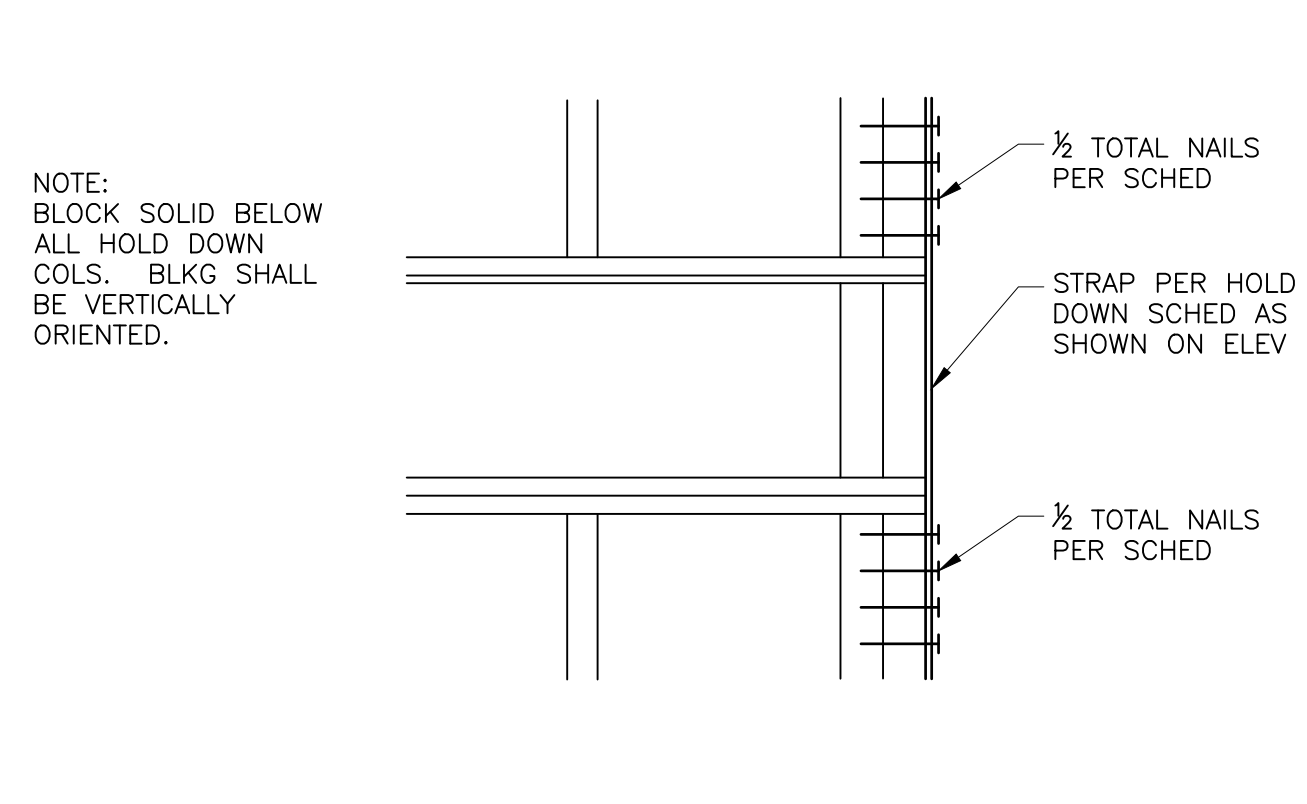
SHEARWALL SCHEDULE								
MARK	APA RATED SHEATHING	NAILING AT PANEL EDGES	PANEL EDGE STUD AND BLKG	RIM JOIST OR BLOCK CONNECTION TO TOP PLATE	DOUG FIR #2, BOTTOM PLATE ATTACHMENT TO WOOD BELOW	PT DOUG FIR #2, SILL PLATE ATTACHMENT		CAPACITY (plf)
						ANCHOR BOLT	SILL	
SW1	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 6" OC	2X	A35 @ 16" OC	(2) 16d @ 16" OC OR 5/8" LAG SCREWS @ 32" OC	5/8" @ 48" OC	2X	310
SW2	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 4" OC	3X MIN	A34 AND LTP4 @ 16" OC	(2) 16d @ 8" OC OR 5/8" LAG SCREWS @ 16" OC	5/8" @ 18" OC	3X MIN	460
SW3	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 12" OC	5/8" @ 12" OC	3X MIN	600
SW4	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 2" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 8" OC	5/8" @ 9" OC	3X MIN	770
SW5	15/32" PLYWOOD SHEATHING, TWO SIDES	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 8" OC	5/8" LAG SCREWS @ 4" OC	5/8" @ 6" OC	3X MIN	1200

- SHEAR WALL NOTES:**
- INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
 - WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE STAGGERED SO THAT JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUDS.
 - BLOCKING IS REQUIRED AT ALL PANEL EDGES.
 - PROVIDE SHEARWALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON PLAN.
 - INTERMEDIATE FRAMING TO BE WITH 2X MINIMUM MEMBERS. FIELD NAILING @ 12" OC.
 - PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
 - WHERE BOTTOM PLATE ATTACHMENT SPECIFIES (2) ROWS OF NAILS, PROVIDE DOUBLE JOIST, RIM OR EQUAL ATTACH PER DETAILS.
 - ALL SHEAR WALL FRAMING TO BE DF. NO OTHER SPECIES ALLOWED.

SHEAR WALL & HOLD DOWN SCHEDULES
NO SCALE

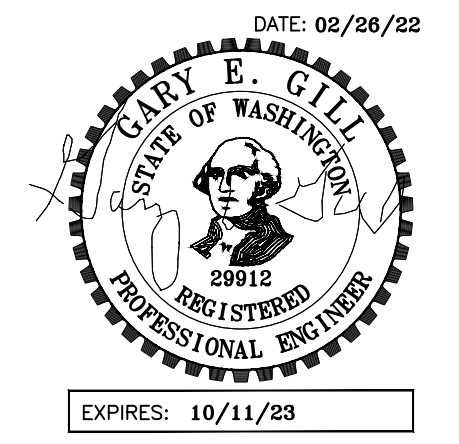


7 HOLD DOWN DETAIL
S4.1 SCALE: 3/4" = 1'-0"



8 HOLD DOWN DETAIL
S4.1 SCALE: 3/4" = 1'-0"

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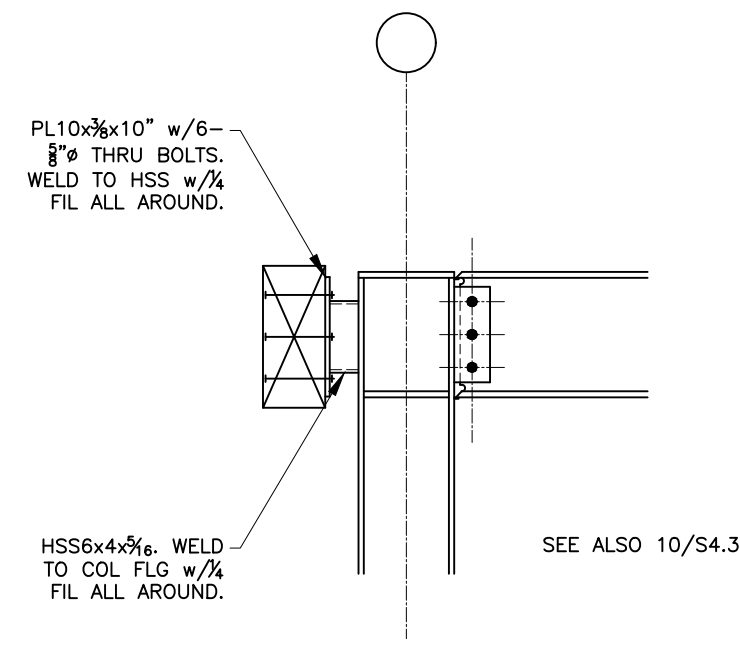
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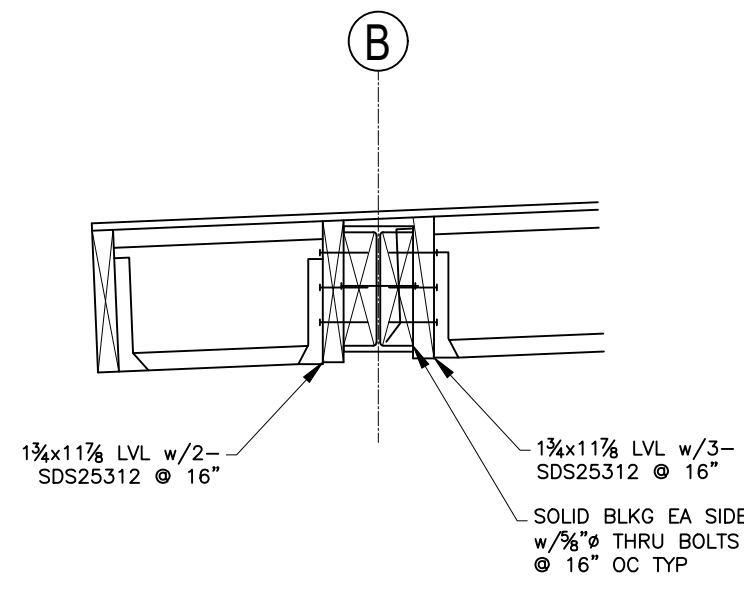
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TYP FRAMING

DETAILS
SHEET:

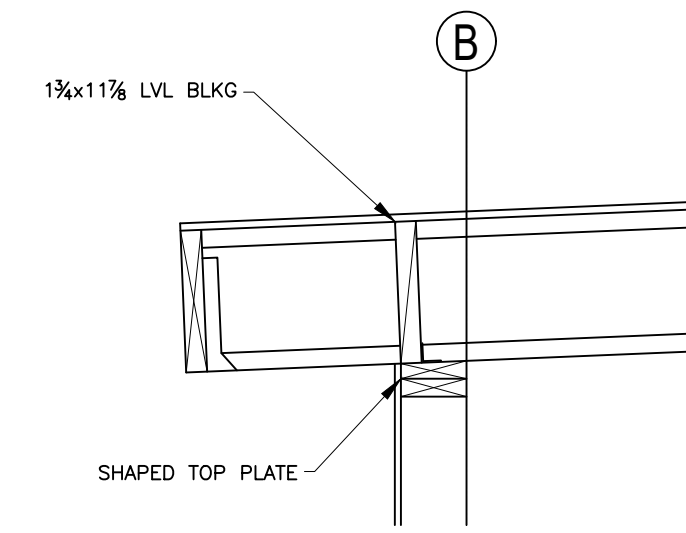
S4.1



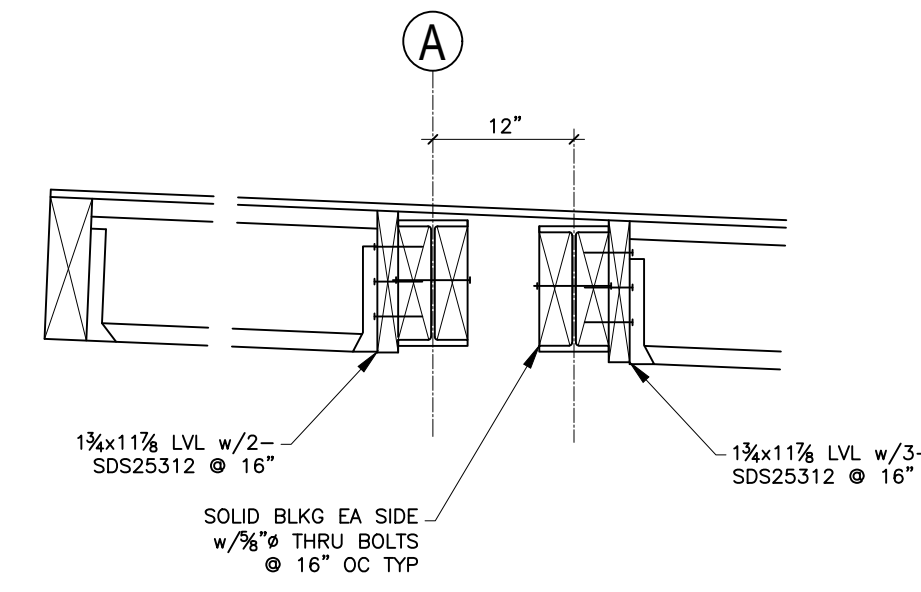
5 SECTION
S4.2 SCALE: 3/4" = 1'-0"



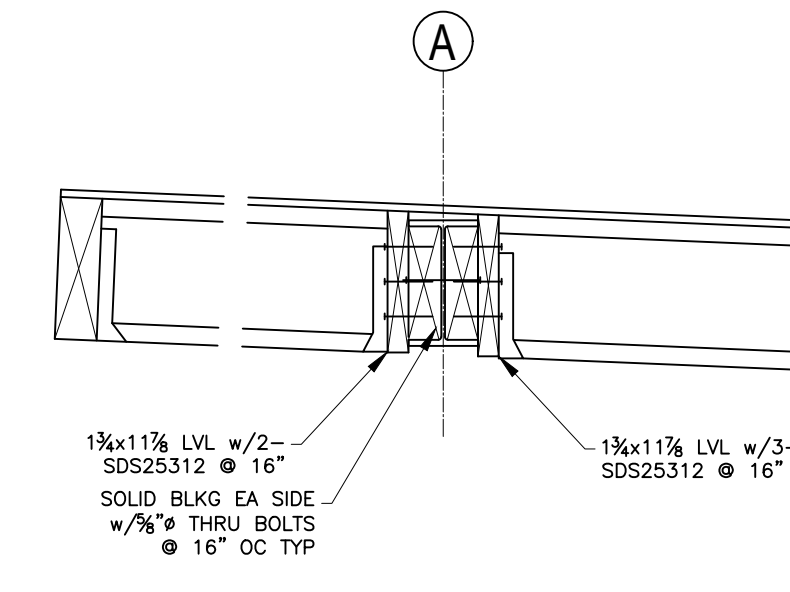
4 SECTION
S4.2 SCALE: 3/4" = 1'-0"



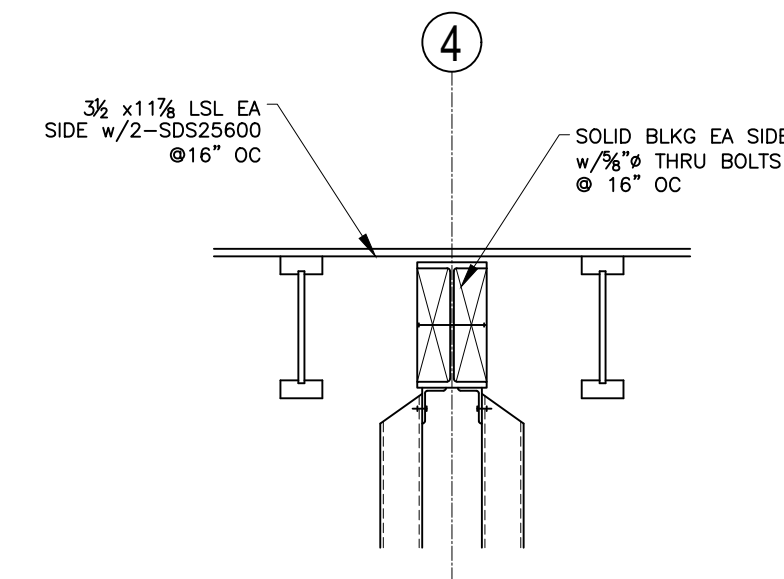
3 SECTION
S4.2 SCALE: 3/4" = 1'-0"



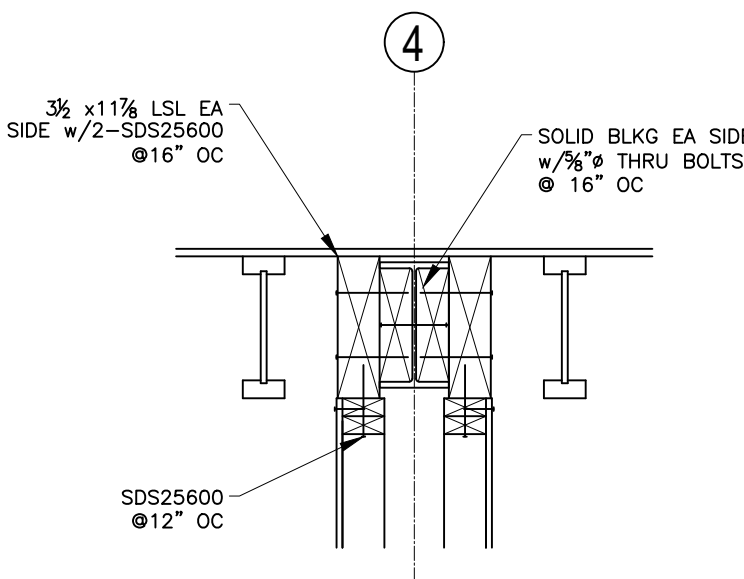
2 SECTION
S4.2 SCALE: 3/4" = 1'-0"



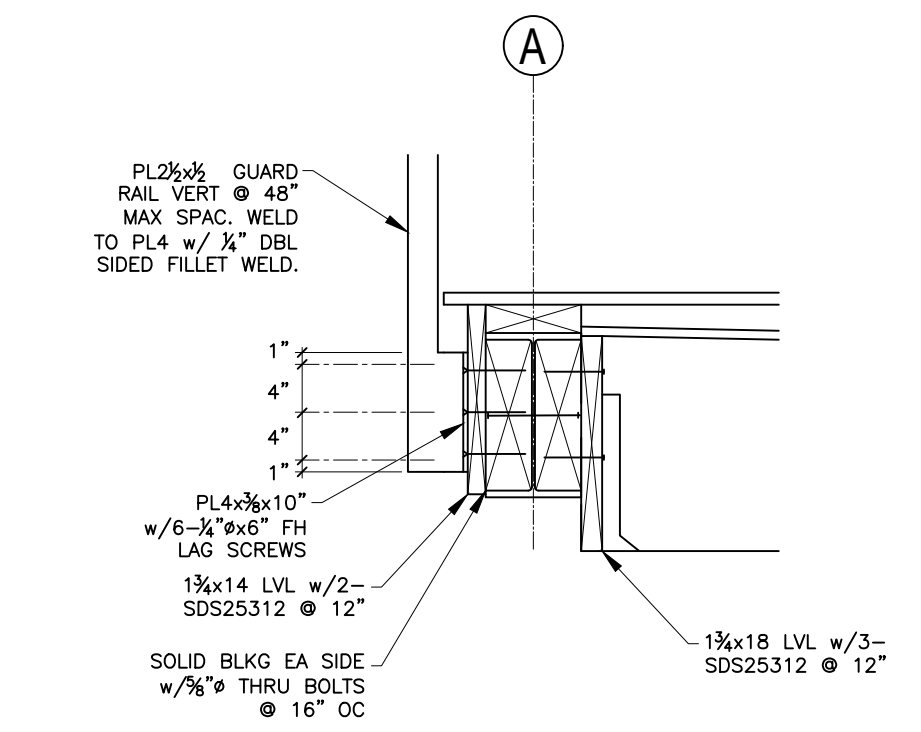
1 SECTION
S4.2 SCALE: 3/4" = 1'-0"



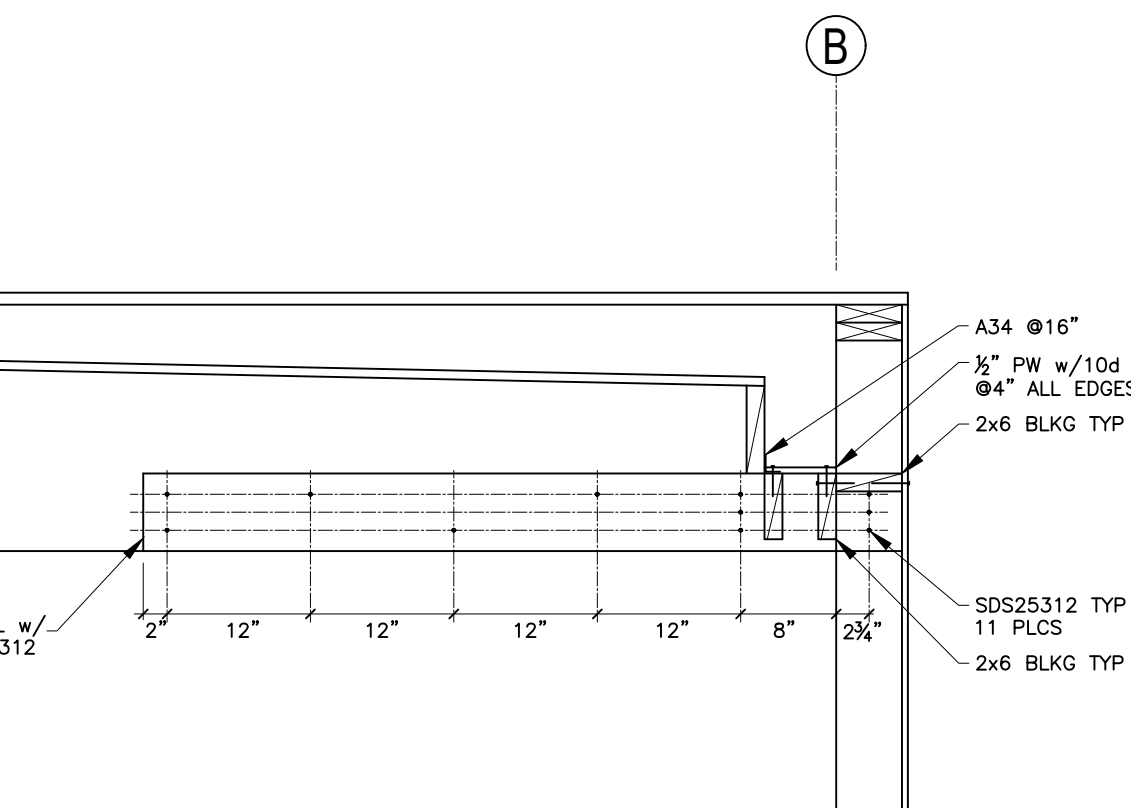
10 SECTION
S4.2 SCALE: 3/4" = 1'-0"



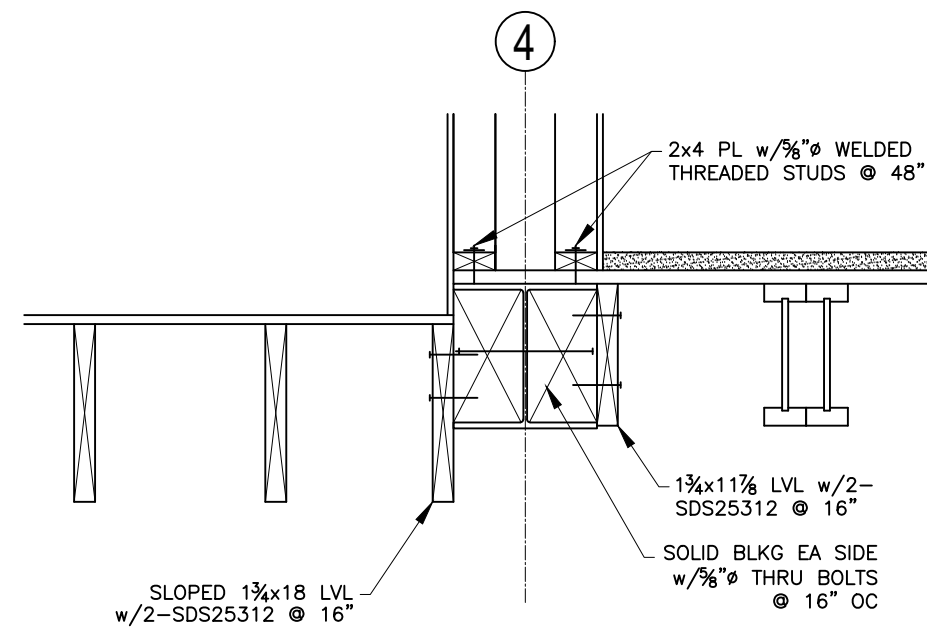
9 SECTION
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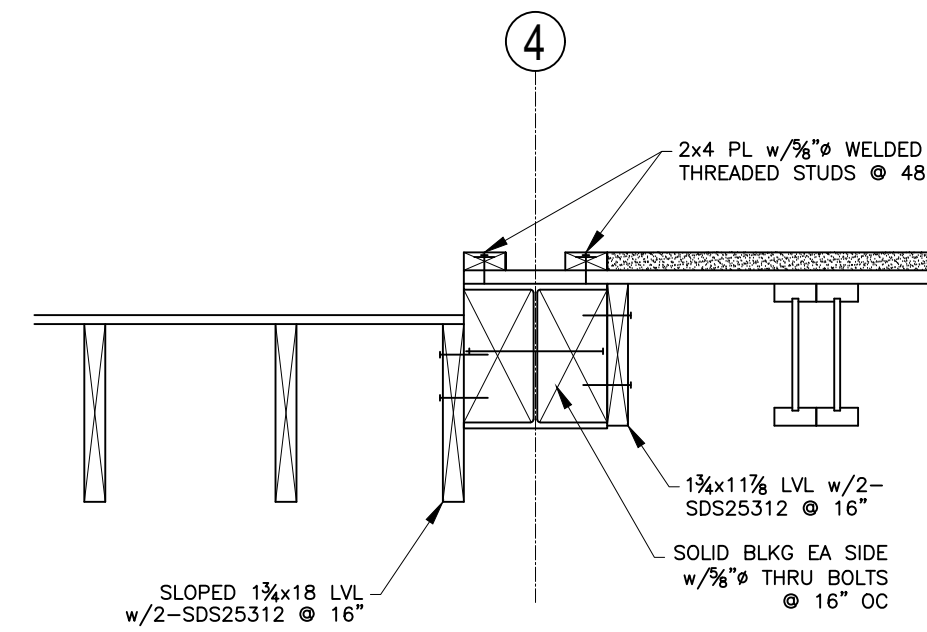
7 SECTION
S4.2 SCALE: 3/4" = 1'-0"



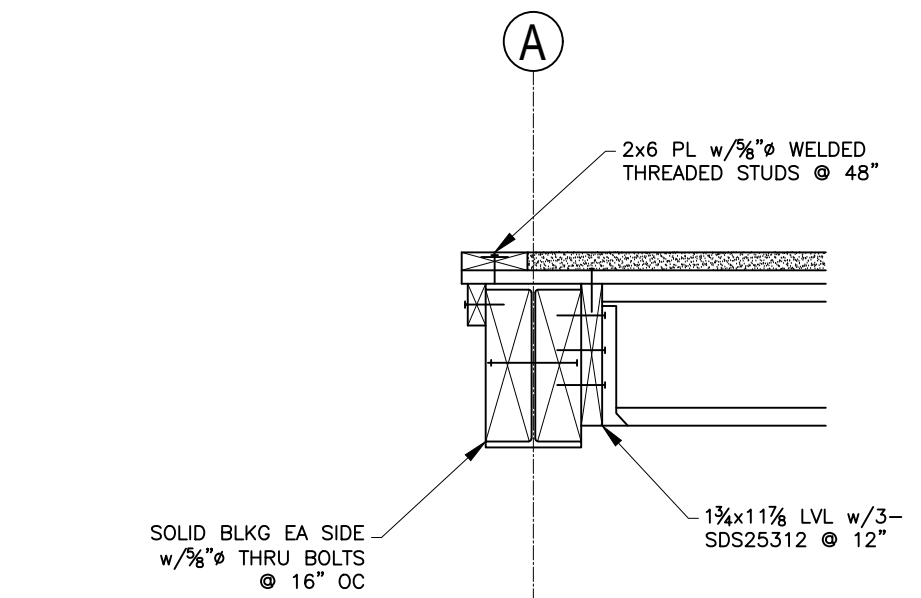
6 SECTION
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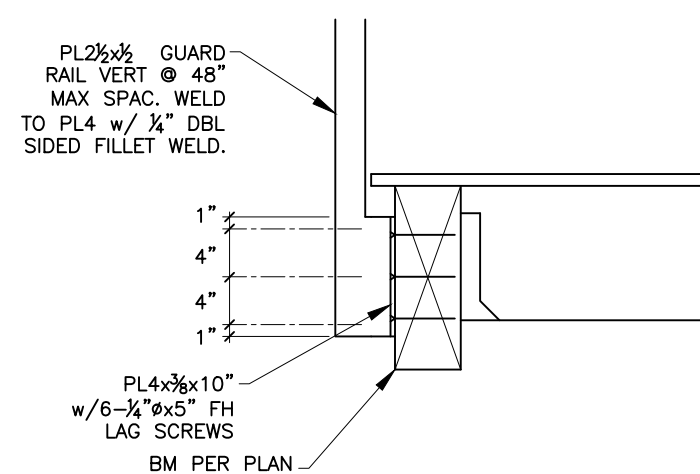
14 SECTION
S4.2 SCALE: 3/4" = 1'-0"



13 SECTION
S4.2 SCALE: 3/4" = 1'-0"



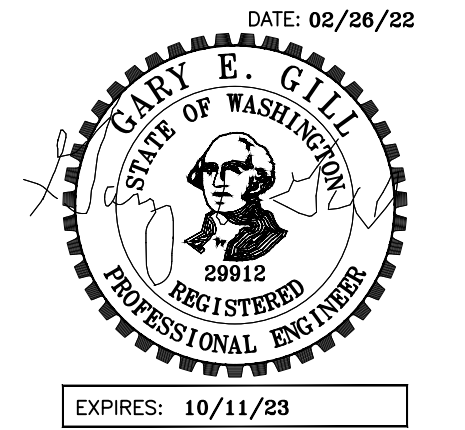
12 SECTION
S4.2 SCALE: 3/4" = 1'-0"



20 SECTION
S4.2 SCALE: 3/4" = 1'-0"

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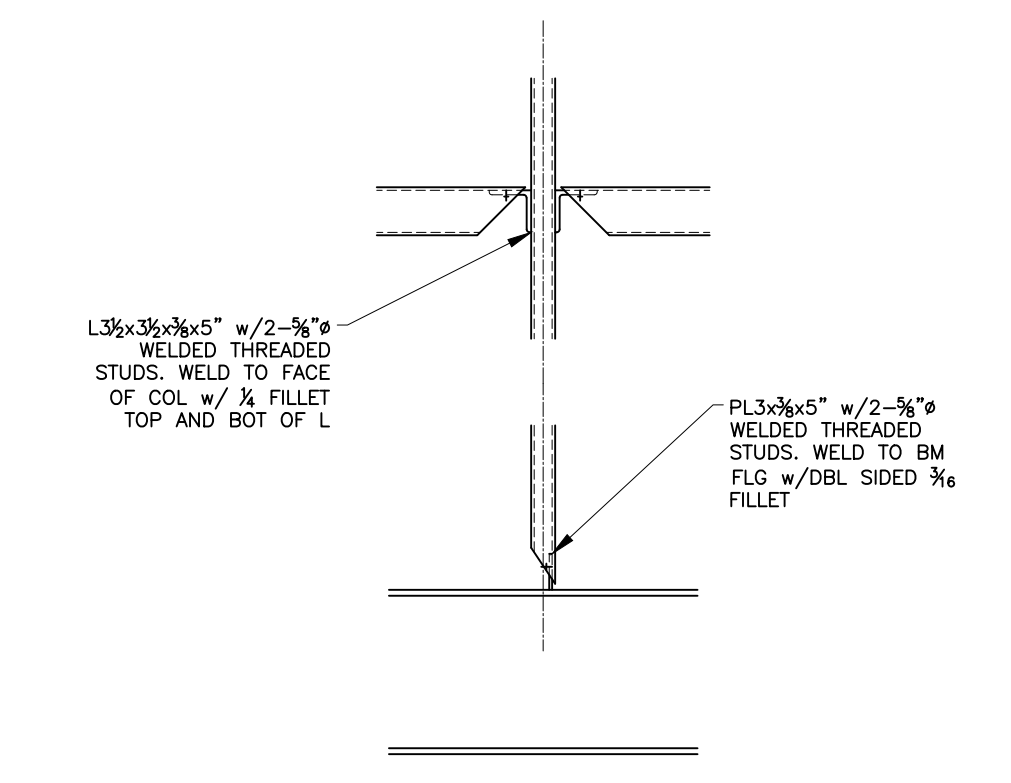
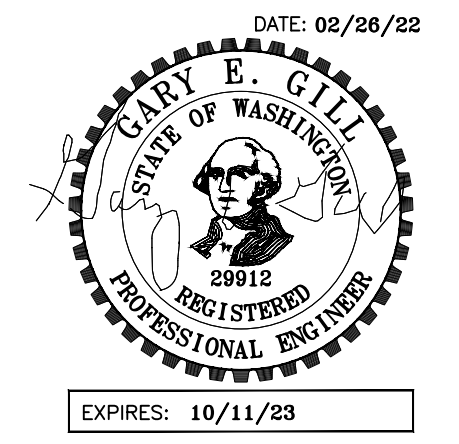
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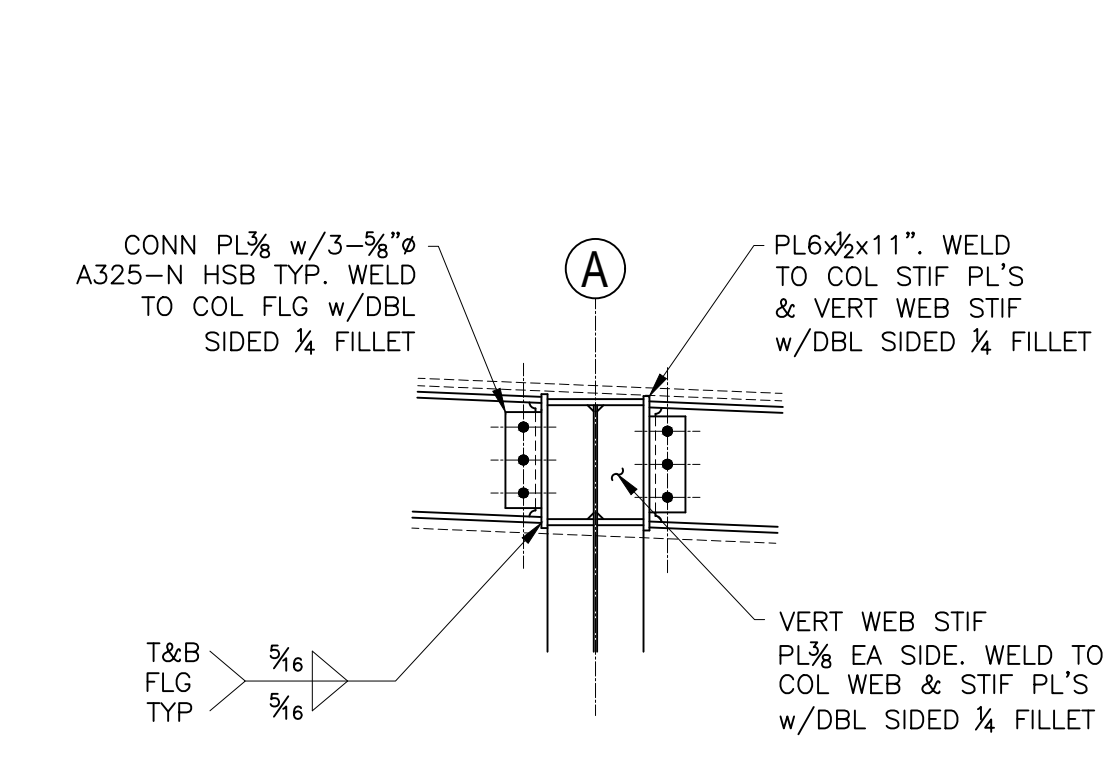
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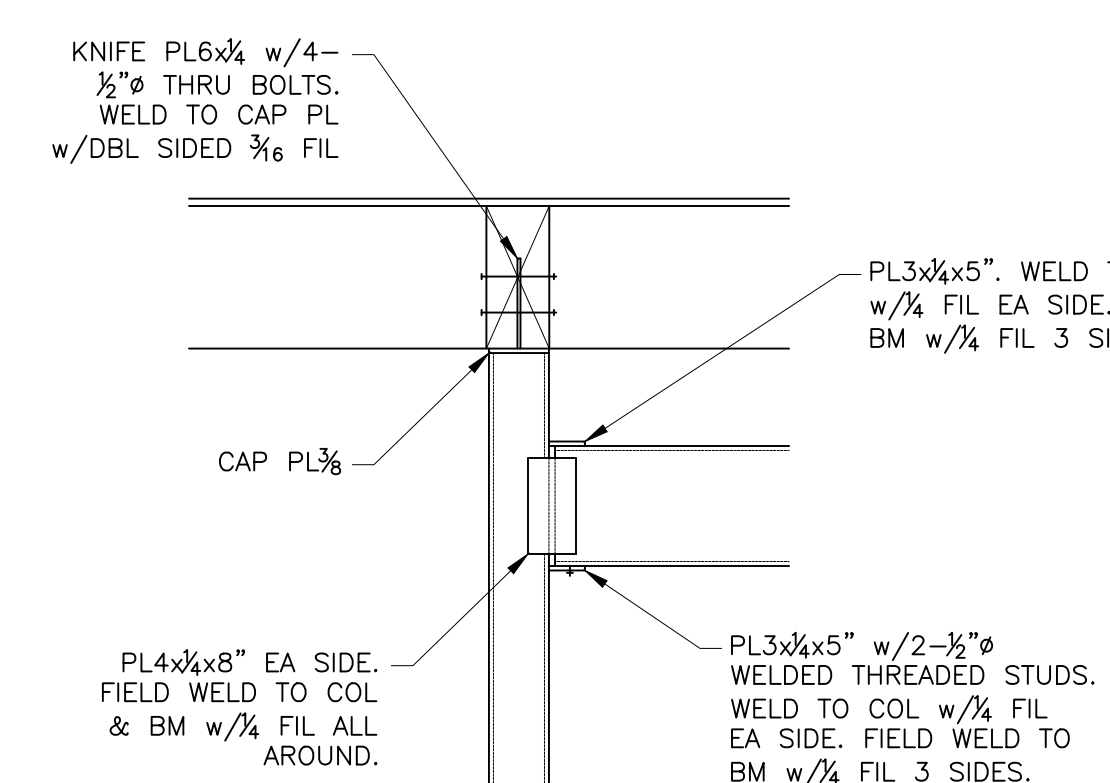
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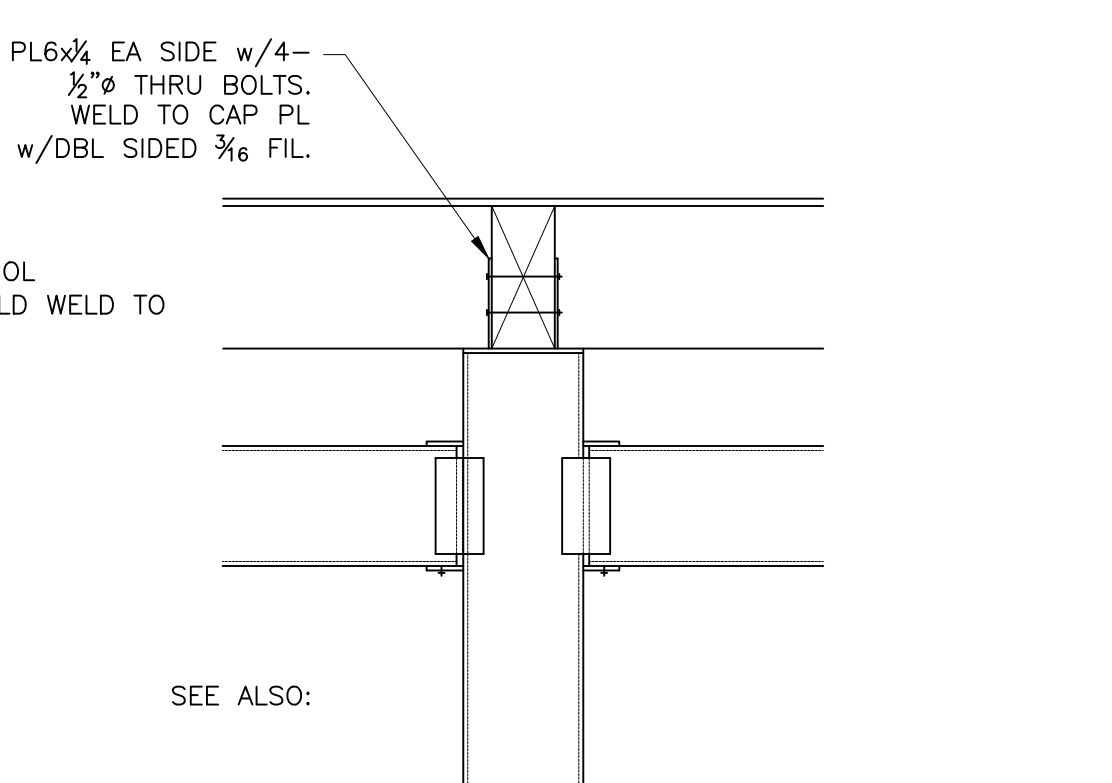
5 SECTION
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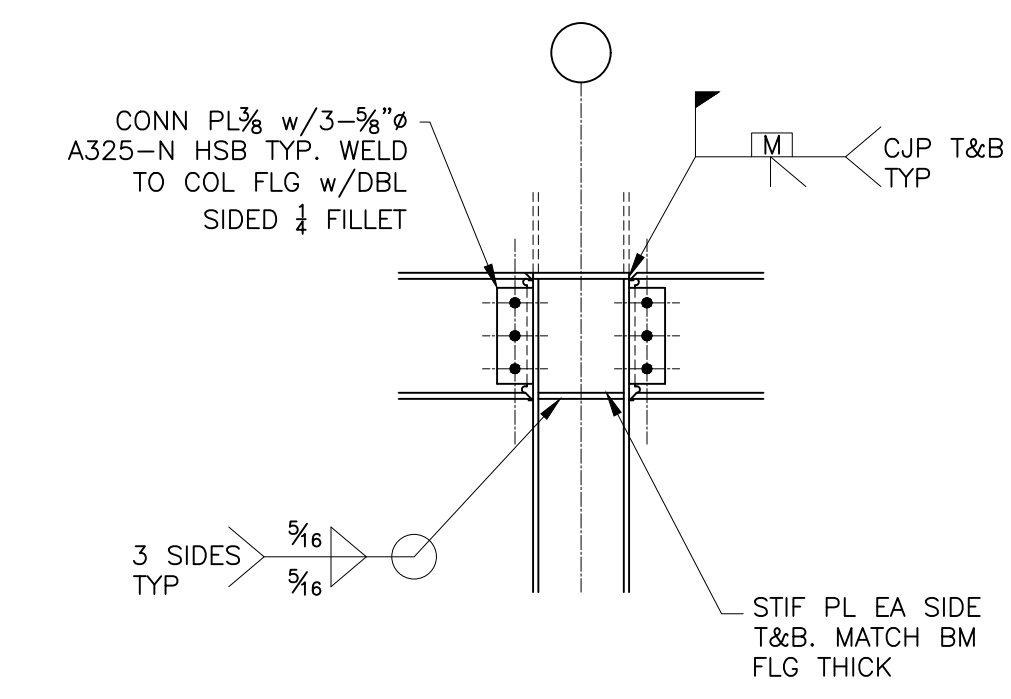
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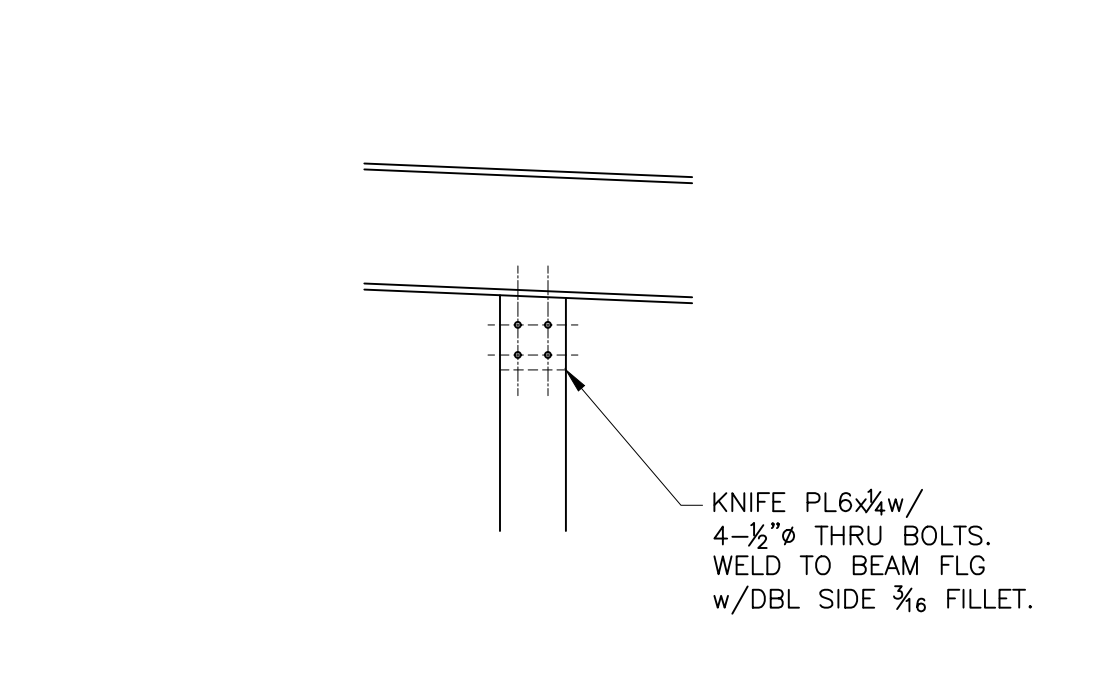
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2 SECTION
 S4.3 SCALE: 3/4" = 1'-0"



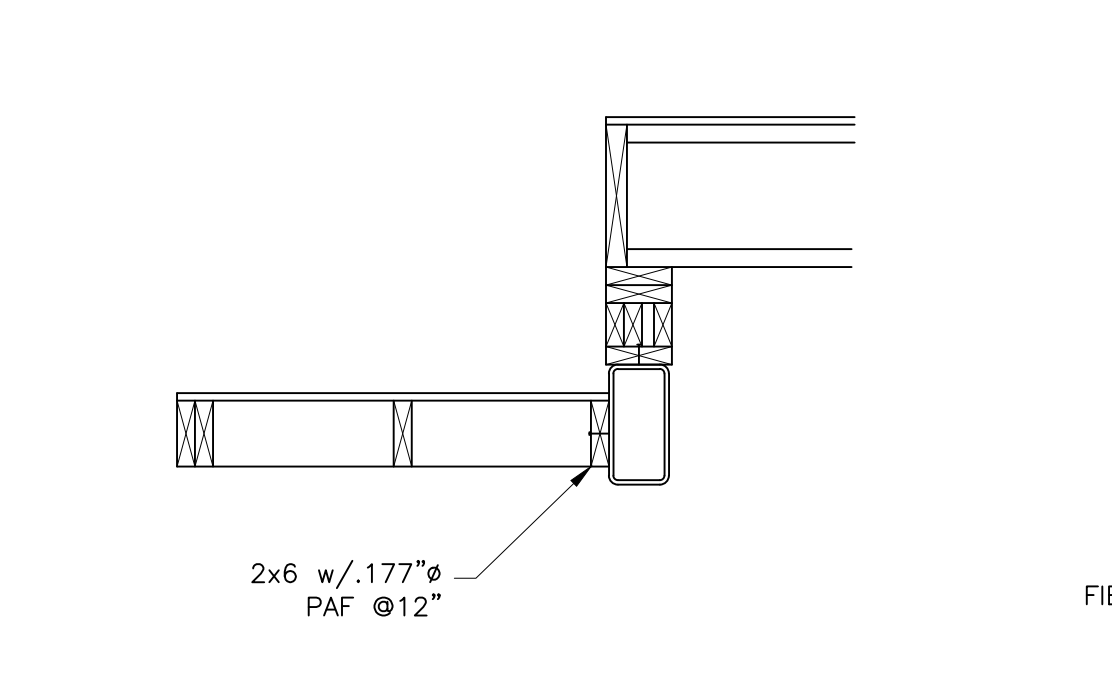
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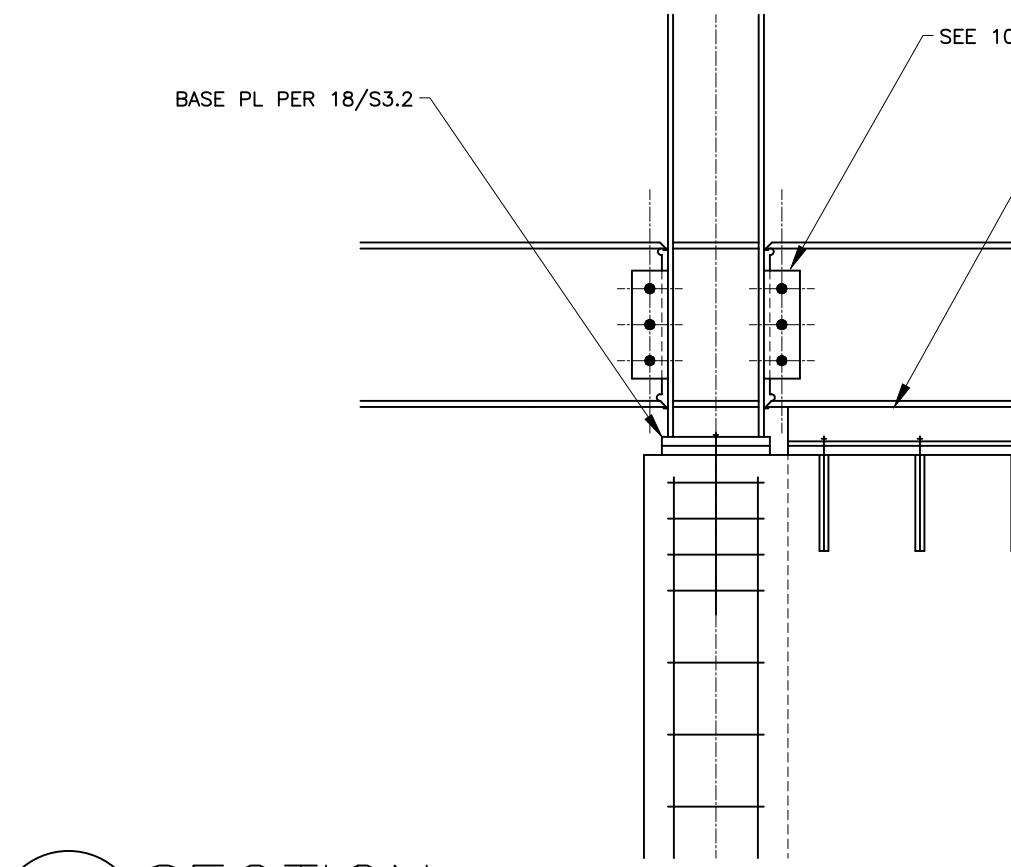
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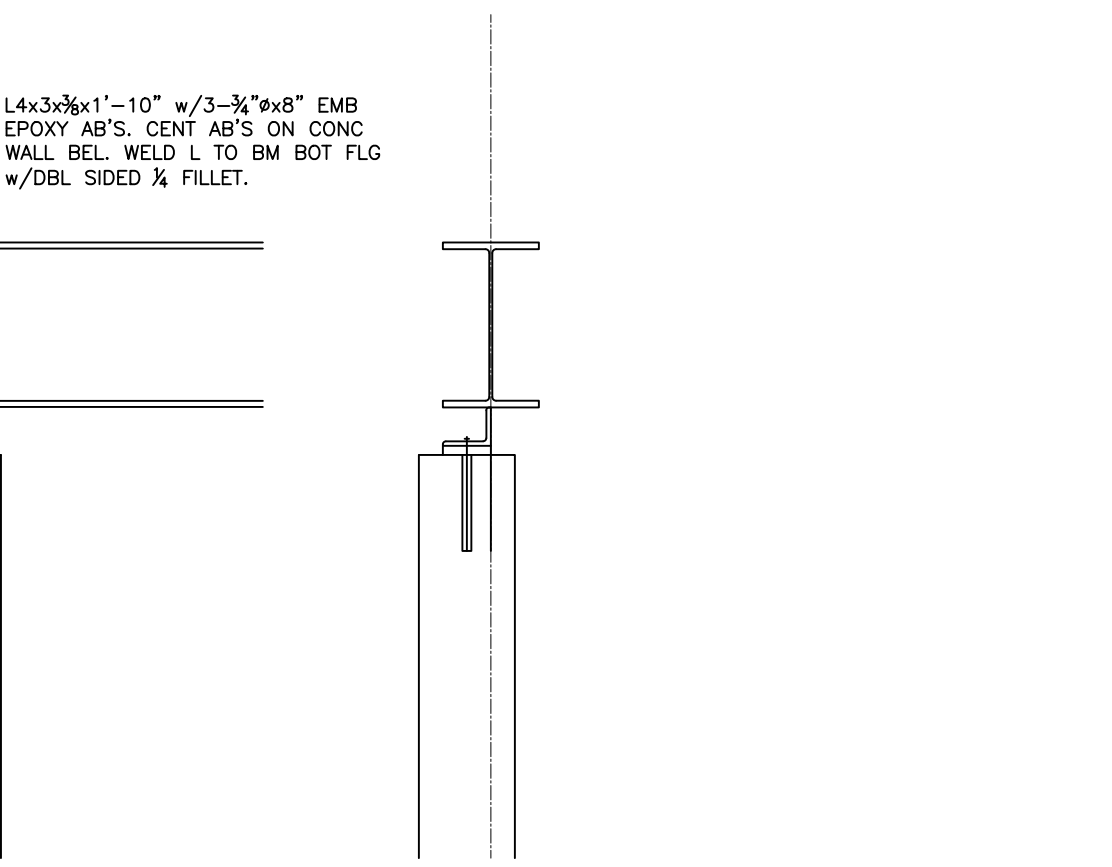
7 SECTION
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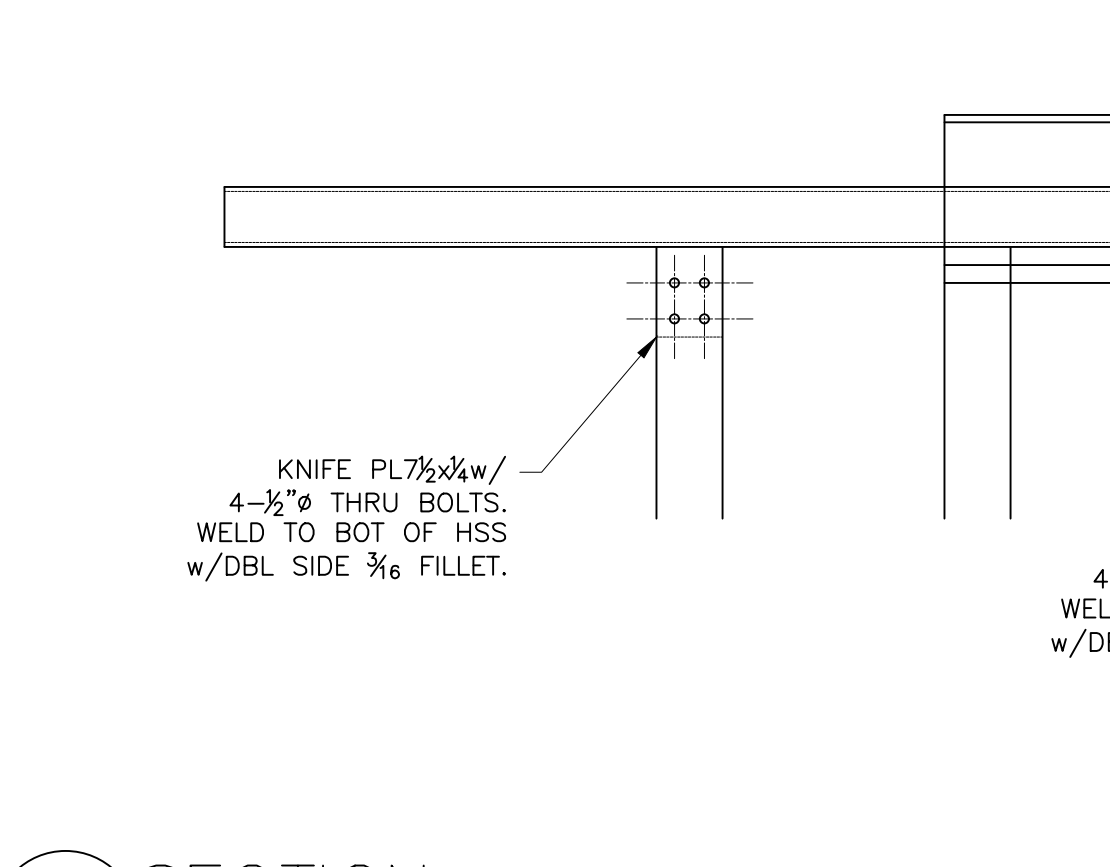
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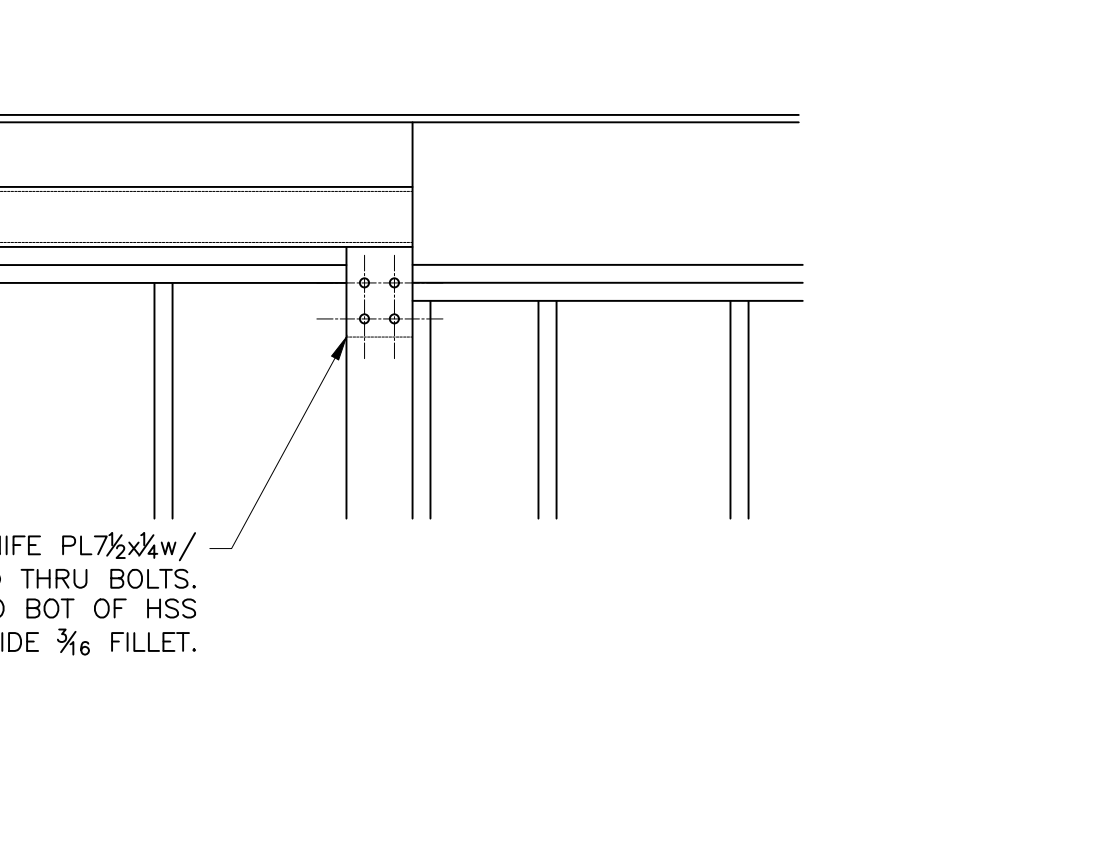
15 SECTION
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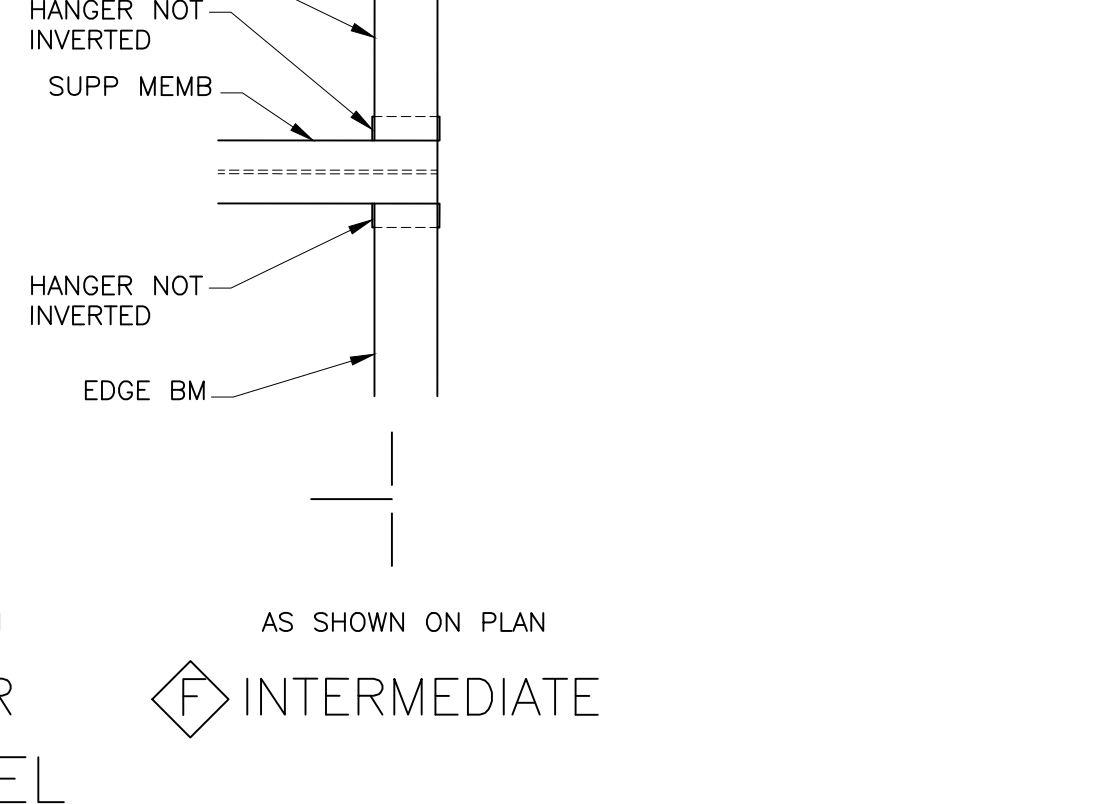
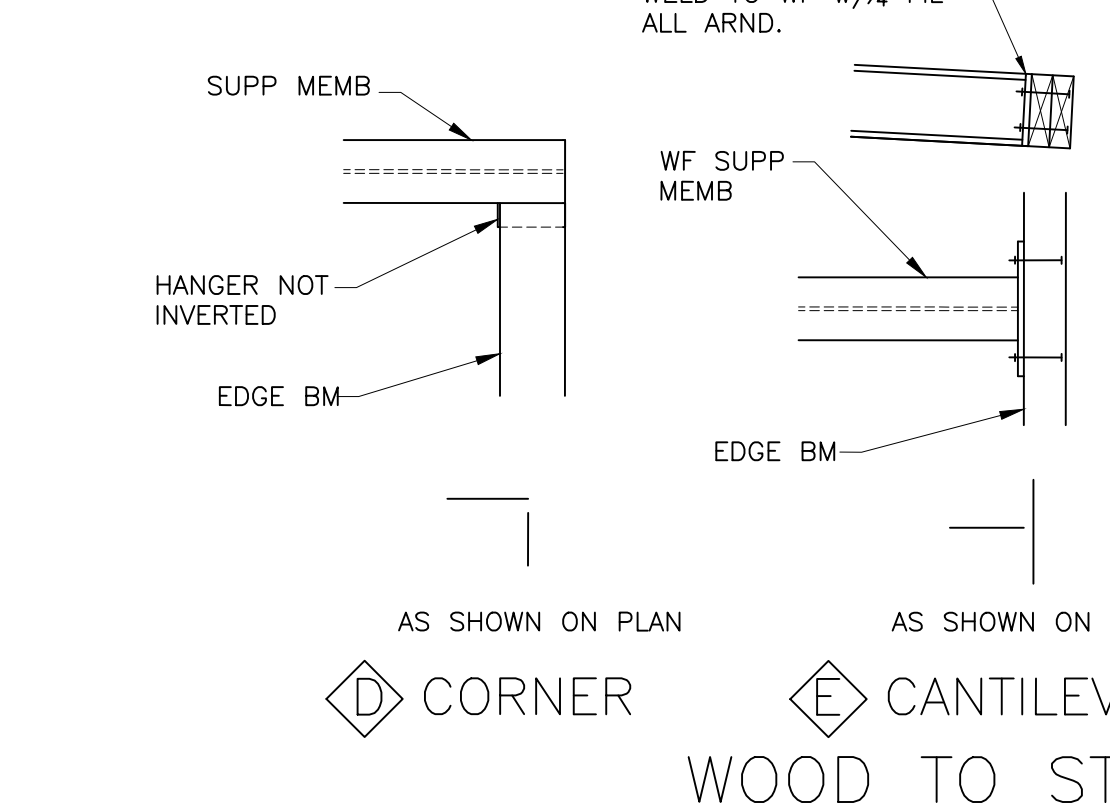
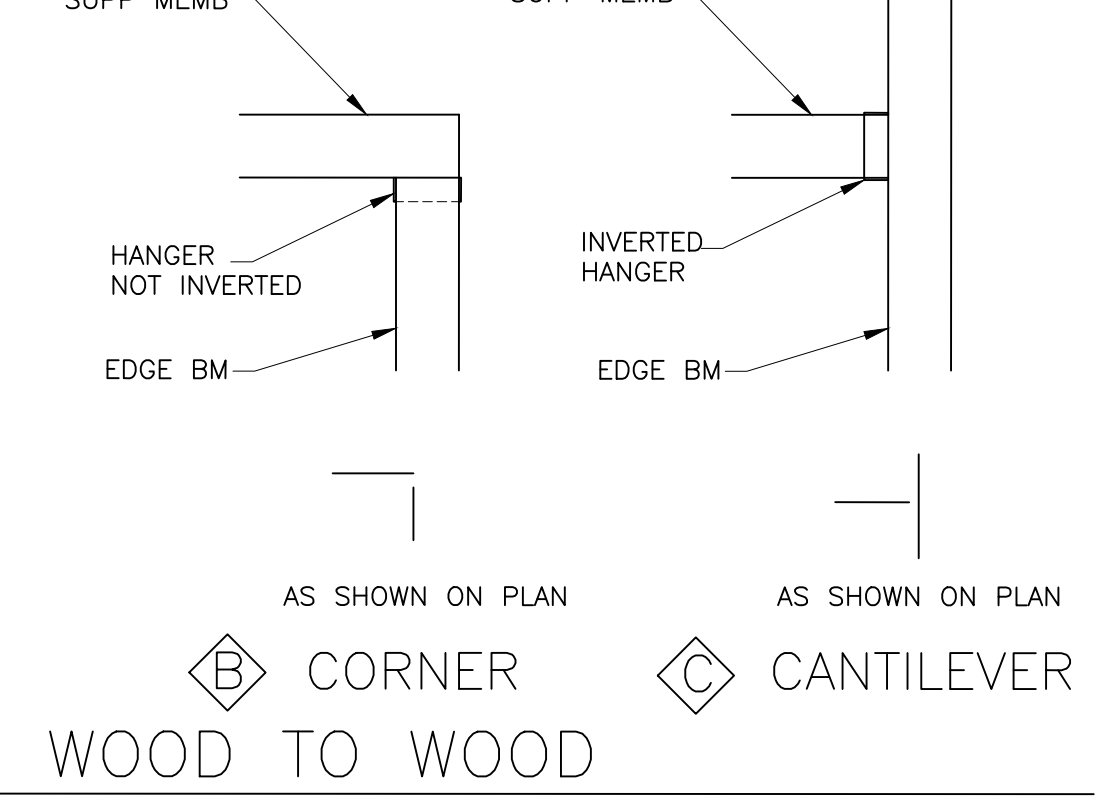
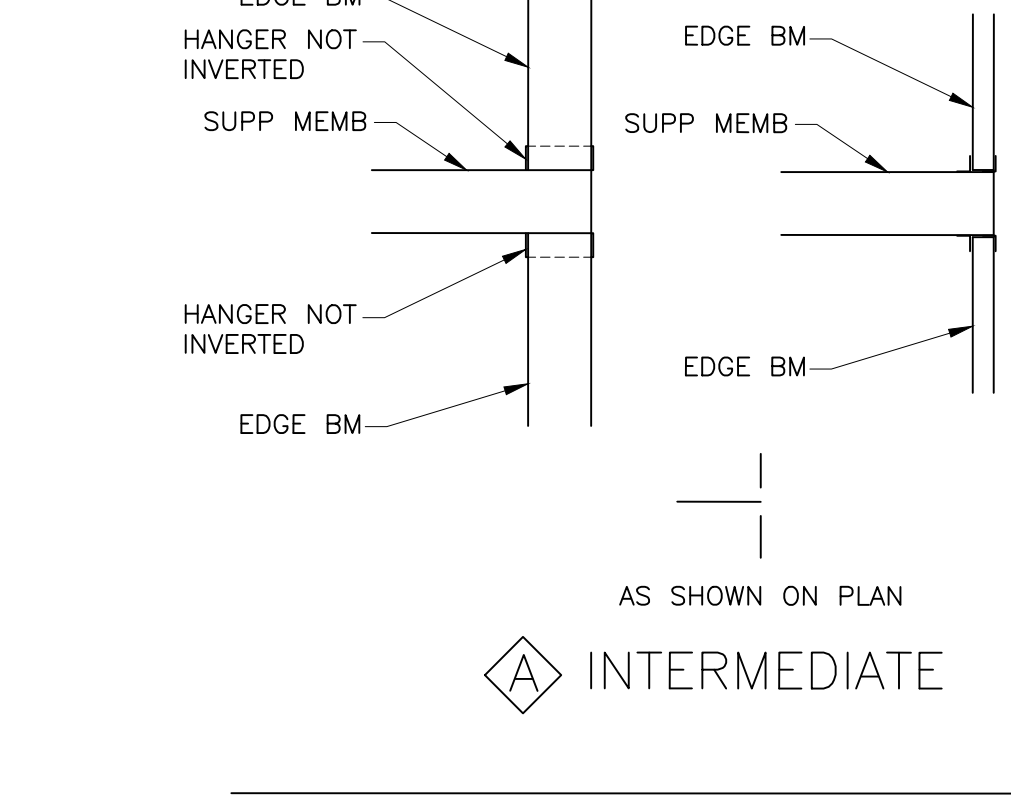
13 SECTION
 S4.3 SCALE: 3/4" = 1'-0"



15 SECTION
 S4.3 SCALE: 3/4" = 1'-0"



13 SECTION
 S4.3 SCALE: 3/4" = 1'-0"



20 TYP EDGE BM CONN
 S4.3 SCALE: 3/4" = 1'-0"

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SHEET TITLE:
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SHEET:
 S4.3